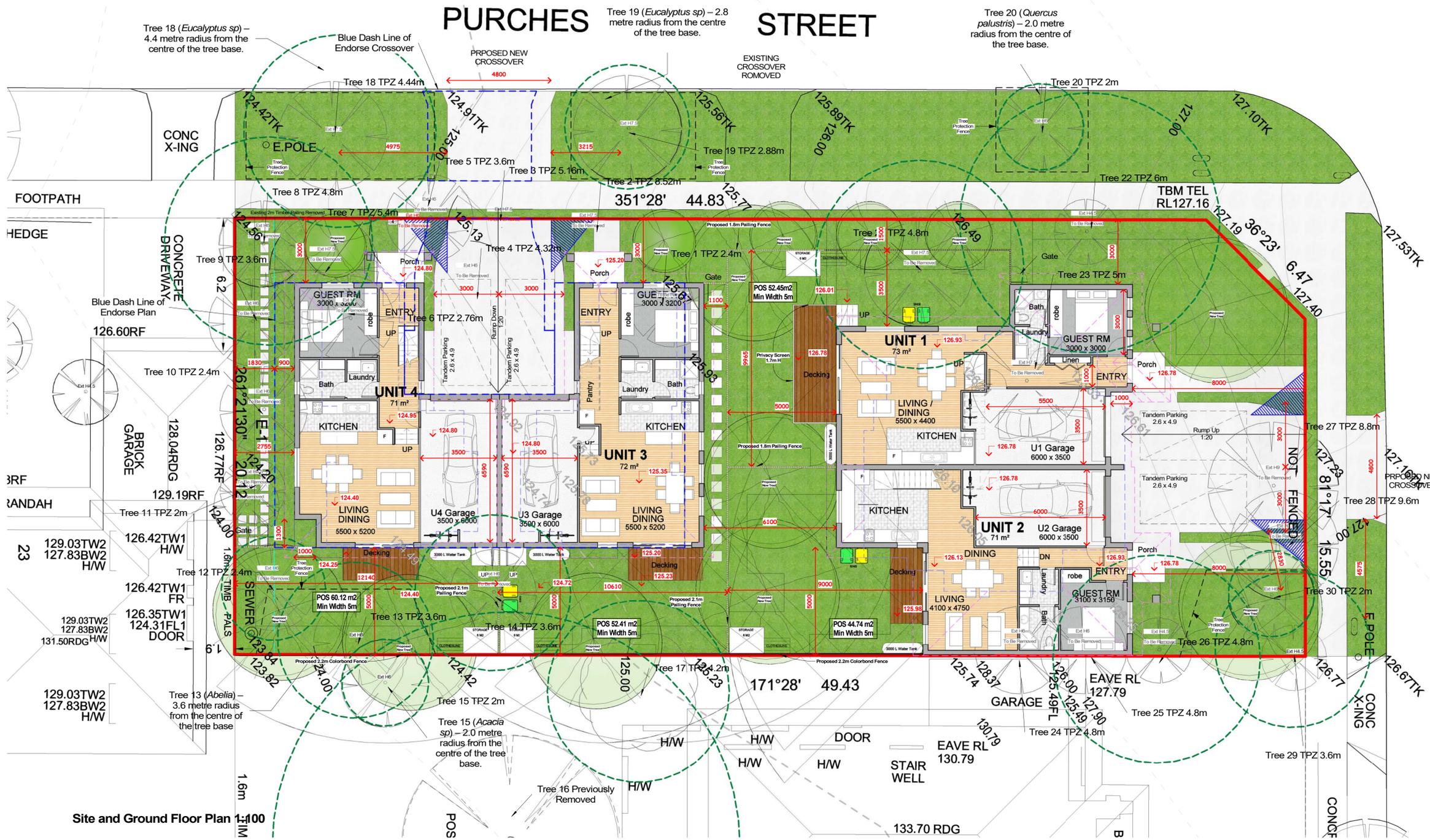


2 Ferguson St. Mitcham





The garden areas shown on the endorsed plan and schedule must only be used as gardens and must be maintained in a proper, tidy and healthy condition to the satisfaction of the Responsible Authority. If any planted trees or shrubs die or are removed, they must be replaced within two months and maintained to the satisfaction of the Responsible Authority.

Tree Protection

Prior to the commencement of any building and or demolition works on the land, a Tree Protection Zone (TPZ) must be established and maintained on the subject land (and nature strip if required) during and until completion of all buildings and works including landscaping, around the following trees in accordance with the distances and measures specified below, to the satisfaction of the Responsible Authority:

- a) Tree Protection Zone distances:
 - i. Tree 13 (*Abelia*) – 3.6 metre radius from the centre of the tree base.
 - ii. Tree 15 (*Acacia sp*) – 2.0 metre radius from the centre of the tree base.
 - iii. Tree 18 (*Eucalyptus sp*) – 4.4 metre radius from the centre of the tree base.
 - iv. Tree 19 (*Eucalyptus sp*) – 2.8 metre radius from the centre of the tree base.
 - v. Tree 20 (*Quercus palustris*) – 2.0 metre radius from the centre of the tree base.
- b) Tree Protection Zone measures are to be established in accordance to Australian Standard 4970-2009 and including the following:
 - i. Erection of solid chain mesh or similar type fencing at a minimum height of 1.8 metres in height held in place with concrete feet.
 - ii. Signage placed around the outer edge of perimeter the fencing identifying the area as a TPZ. The signage should be visible from within the development, with the lettering complying with AS 1319.
 - iii. Mulch across the surface of the TPZ to a depth of 100mm and undertake supplementary watering in summer months as required.
 - iv. No excavation, constructions works or activities, grade changes, surface treatments or storage of materials of any kind are permitted within the TPZ unless otherwise approved within this permit or further approved in writing by the Responsible Authority.
 - v. All supports and bracing should be outside the TPZ and any excavation for supports or bracing should avoid damaging roots where possible.
 - vi. All sub surface utilities and utility connection points, inspection pits and associated infrastructure trenching and installation are to be designed so that they are located outside the TPZs of retained trees, to the satisfaction of the Responsible Authority. Utility conduits can be located beneath TPZs but must be installed using trenchless excavation (eg: boring) and installed to a minimum depth of 0.6 metres below natural grade.
 - vii. Where construction is approved within the TPZ, fencing and mulching should be placed at the outer point of the construction area.
 - viii. Where there are approved works within the TPZ, it may only be reduced to the required amount by an authorised person only during approved construction within the TPZ, and must be restored in accordance with the above requirements at all other times.

Site and Ground Floor Plan 1:100

Whitehorse Council Planning Scheme- Local Provision

The subject site is situated within a General Residential Zone 2. There is significant landscape overlay applicable to the site.

This planning submission highlights the development's ability to comply with the relevant Clauses of the Whitehorse Council Planning Scheme, and Clause 55 Two or more dwellings on a lot and residential buildings.

Development Summary

Existing site:
 Site Area: 984 sqm approximately
 Number of Proposed Dwellings: 4

Proposed Unit:	1	2	3	4
Number of bedrooms:	4	4	4	4
Ground floor area:	73 m ²	71 m ²	72 m ²	71 m ²
First floor area:	62 m ²	57 m ²	68 m ²	63 m ²
Garage (Car Stacker):	23 m ²	23 m ²	23 m ²	23 m ²
Porch:	2 m ²	2 m ²	2 m ²	2 m ²
On site car parking spaces:	2	2	2	2
Secluded Open Space with minimum 5m width:	52.45 m ²	44.74 m ²	52.41 m ²	60.12 m ²

Proposed Development:	Value
Site Area:	984 m ²
Building Coverage Area:	379 m ²
Building Site Coverage:	38.52 %
Total Permeable Area:	489 m ²
Permeability:	50.30 %
Total Garden Area:	442.11m ²
Garden Area Percentage:	44.92 %

Minimum rainwater tank size of 3000 litres is allocated for reuse/retention purposes and excludes any volume allocated for detention

The rainwater tanks are connected to all toilet flushing, laundry systems and irrigation areas.

All obscured glazing be manufactured obscured glass. Obscure film being applied to clear glazing will not be accepted

The lattice screening above boundary fences to be fixed, durable freestanding. Alternatively, fences may be reconstructed to the required height.

REV	DATE	DESCRIPTION	INITIAL

REV	DATE	DESCRIPTION	INITIAL

PROJECT
 Four Unit Development
 2 Ferguson St, Mitcham
 TITLE
 Site and Ground Floor Plan

Date: 270623
 Scale (A1): 1 : 100@ A1
 Drawn by: LF
 Checked: LF
 Job Number: 2019 - 45
 Drawing Number: TP3



NOT TO BE USED FOR CONSTRUCTION PURPOSES

PURCHES STREET



Solar hot water calculator		
Data		
Specific heat of water (constant)	kJ/kg °C	4.19
Total number of bedrooms		4
Average number of people per bedroom		1.1
Total occupants		4
Summary of hot water used		
Total hot water	litres / day (all occupants)	238
Total cold water	litres / day (all occupants)	174
Total all water	litres / day (all occupants)	412
Total all water	litres / day / person	103
Total hot water	litres / day / person	59
Total cold water	litres / day / person	44
Delivered energy total	MJ / day	45
Recirculation & storage losses		15%
Required energy into water	MJ / day	53
Solar Collectors & Storage		
Required solar contribution %		30%
To be supplied by solar water heaters	MJ / day	16
Solar radiation, Melbourne, optimum angle	MJ / day / m ² annual ave.	17.2
Collector Type:	Flat Plate	Evac. Tube
Solar water heater efficiency	annual average	55%
Delivered energy into water	MJ / day / m ² annual ave.	9
Solar water heater collector area required	m ² aperture area	2
Solar water heater area / panel	m ² aperture area / panel	1.86
Number of panels required	rounded up	1
Typical collector dimensions	width (m) x length (m)	1.9 x 2.8
Indicative water storage volume req'd	litres	80
Supplementary Heat Input to DHW		
From supplementary source(s)	MJ / day	37
Expected performance effy	annual average	75%
Energy input to supplementary source(s)	MJ / day	49
Annual expected solar energy contribution	GJ/yr	5.8
Natural gas use reduction from solar	GJ/yr	7.7
Greenhouse gas emissions factor, NG [1]	kg CO ₂ -e/GJ	55.43
Greenhouse gas emissions reduction	tonnes CO ₂ -e/yr	0.43

GLAZING				
Glazing Type	Group	Whole of Window Value	U	SHGC
Default				
ATB-005-03	Aluminium Thermally Broken DG Argon Fill High Solar Gain Low-E clear	A	2.91	0.44
ATB-006-03	Aluminium Thermally Broken DG Argon Fill High Solar Gain Low-E clear	B	2.90	0.51
ATB-003-03	Aluminium Thermally Broken DG Air Fill High Solar Gain Low-E clear	A	3.10	0.39
ATB-004-03	Aluminium Thermally Broken DG Air Fill High Solar Gain Low-E clear	B	3.10	0.49

BUILDING MATERIALS		
Element	Description	Added R Value
Floor Type	Ground floor: Concrete slab	
Floor Insulation	First floor: Timber floor	
Wall Insulation	External walls - Brick Veneer & Lightweight walls (50 EPS & Timber cladding)	R 2.5
	90mm R 2.5 HD bulk insulation or alternative	R 2.5
	Party walls	
	90mm R 2.5 HD bulk insulation or alternative	R 2.5
	Internal walls surrounding bathrooms:	
	90mm R 2.5 HD bulk insulation or alternative	R 2.5
	Internal walls shared with garages:	
	90mm R 2.5 HD bulk insulation or alternative	R 2.5
	All remaining internal walls	Nil
Roof Insulation	R 5.0 insulation to ceilings to underside of tiled roof and metal roof	R 5.0
Sky Lights	Nil	
External Blinds	Refer to plans	

Preliminary energy ratings using FirstRate (Version 5.3.2b) are summarised in the table below.

Dwelling	Star Rating	Total (MJ/m2)	Heating (MJ/m2)	Cooling (MJ/m2)
Unit 1	6.3	115.7	105.6	10.1
Unit 2	6.5	107.3	99.3	8.0
Unit 3	6.5	106.8	95.5	11.3
Unit 4	6.7	101.0	92.0	9.0
Average Rating	6.5	107.7	98.1	9.6

Rainwater Harvesting

Design Response/ Performance Commitments		Notes
Proposed rainwater collection and reuse system as detailed below:		Rainwater tank reliability analysis has been undertaken to estimate annual mains water savings. Savings: 80KL
Collection area All roof areas	Tank Size 3000L to each dwelling	Supply reliability for toilet flushing, laundry and irrigation: 89%
Re-use of water for toilet flushing and laundry		Please refer to Appendix 3 for details of predicted harvested rainwater volumes and Appendix 6 for WSUD plan.
Re-use of water for irrigation		

Energy Rating

Design Response/ Performance Commitments	Notes
The proposed residential dwellings are expected to achieve an average energy rating of 6.5 stars	The development preliminary energy rating achieved meets the BCA 2019 energy efficiency requirements for Class 1 dwellings. Refer to Appendix 4 for details of energy rating.

Renewable Energy System

Design Response/ Performance Commitments	Notes
The following renewable energy system will be installed:	The proposed renewable energy system is predicted to result in equivalent avoided greenhouse emissions of approximately 0.37 tonne CO ₂ e each year. Refer to domestic hot water section for more information.
❖ Solar gas boosted hot water system to provide 30% annual average solar contribution for each dwelling.	

Heating & Cooling

Design Response/ Performance Commitments	Notes
Reverse cycle split systems and gas heating systems within a star of the best available will be installed in the dwellings to provide heating and cooling. Non-star rated units will have performance co-efficient with similar relative efficiency within the range of products commercially available	Product listings and energy efficiency performance information is located at www.energyrating.gov.au

Domestic Hot Water

Design Response/ Performance Commitments	Notes
Domestic hot water will be provided by a solar gas boosted hot water system sized to provide 30% annual average solar contribution with highly insulated pipe work to minimise parasitic heat loss.	The system selected is accepted as being the most greenhouse-efficient hot water system currently available for residential development. Please refer to Appendix 5 for details of solar panel numbers.

Lighting

Design Response/ Performance Commitments	Notes
Energy efficient lighting systems will be installed throughout including:	All external area lighting will be controlled through motion/daylight sensor. Also external lighting will be designed to avoid light spill to the night sky.
❖ LED lighting (within 4W/m ²) to dwellings.	
❖ An energy efficient external lighting system comprising of LED lighting.	
❖ An energy efficient garage lighting system comprising of LED lighting.	

Clothesline

Design Response/ Performance Commitments	Notes
Private outdoor clothesline will be provided to the dwellings.	

Water Efficient Appliances

Design Response/ Performance Commitments	Notes
Water efficient appliances (where appliances are provided by the developer) will have a 3 WELS star.	This includes dishwashers and any other appliances using water.

Water Efficient fittings

Design Response/ Performance Commitments	Notes
Water efficient fittings will be specified in accordance with the following minimum performance standard as rated by the Water Efficiency Labelling Scheme (WELS)	
❖ Toilets minimum 4-stars WELS rated	
❖ Tap minimum 5-stars WELS rated	
❖ Showers minimum 3-stars WELS rated (>6L/min and <= 7.5L/min)	

Garage Ventilation

Design Response/ Performance Commitments	Notes
The garages are naturally ventilated.	N/A

First Floor Plan 1:100

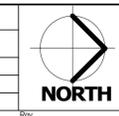
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REV	DATE	DESCRIPTION	INITIAL
1		Council RFI Issue C	

REV	DATE	DESCRIPTION	INITIAL

PROJECT
Four Unit Development
2 Ferguson St, Mitcham
TITLE
First Floor Plan

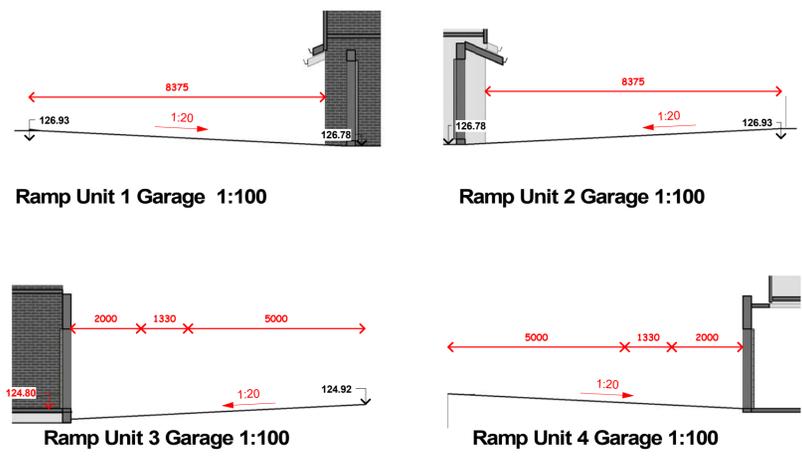
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Drawn by	LF
Checked	LF
Job Number	2019 - 45
Drawing Number	TP4



MATERIAL LEGEND

- A TILED ROOF (Darker Grey)
- B FACE BRICK (Brown)
- C RENDER FINISH - WHITE
- D TIMBER CLADDING
- E CLEAR GLASS
- F OBSCURED GLASS
- G SECTIONAL GARAGE DOOR WITH DAYLIGHT
- OP OPENABLE WIDNOW /DOORS
- DG DOUBLE GLAZING

- NGL: Natural Ground Level
- PGL: Proposed Ground Level
- FFL: Finished Floor level
- FSL: Finished Surface Level

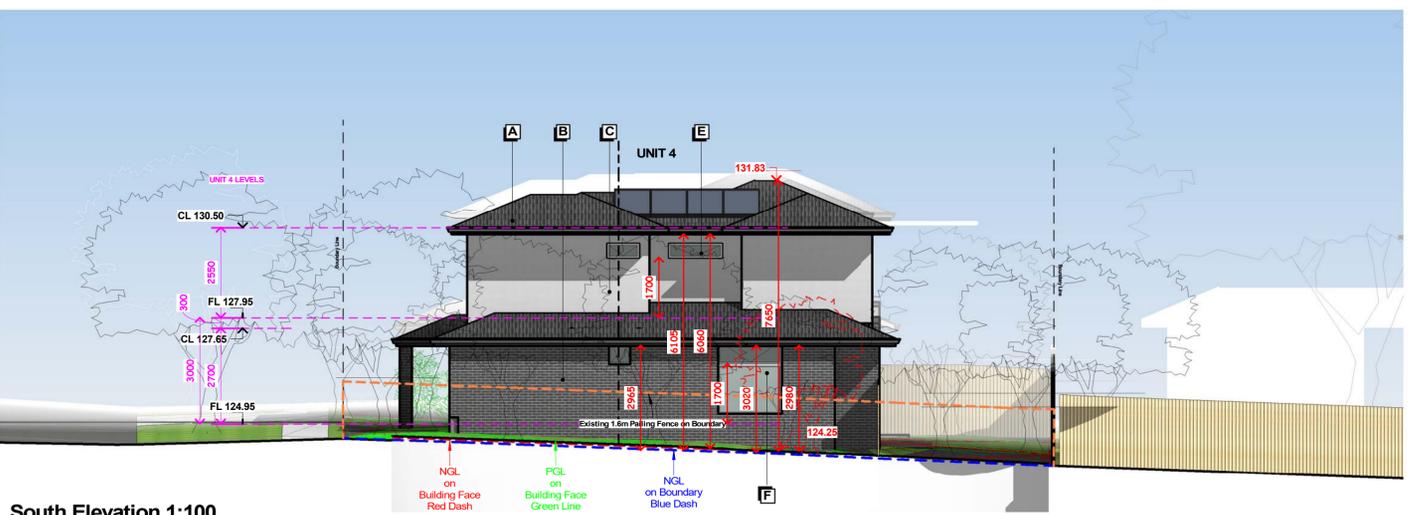


Ramp Unit 1 Garage 1:100

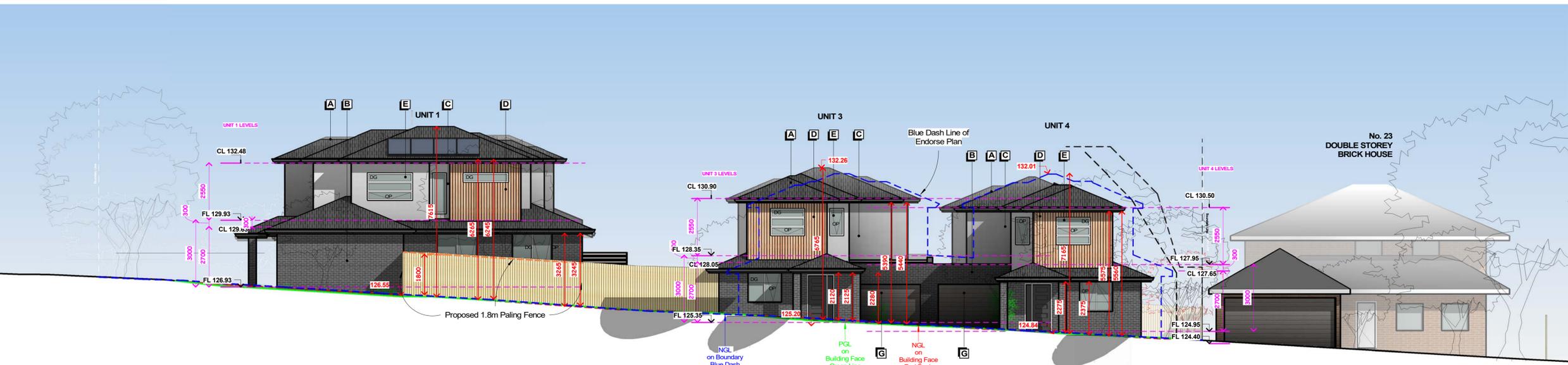
Ramp Unit 2 Garage 1:100

Ramp Unit 3 Garage 1:100

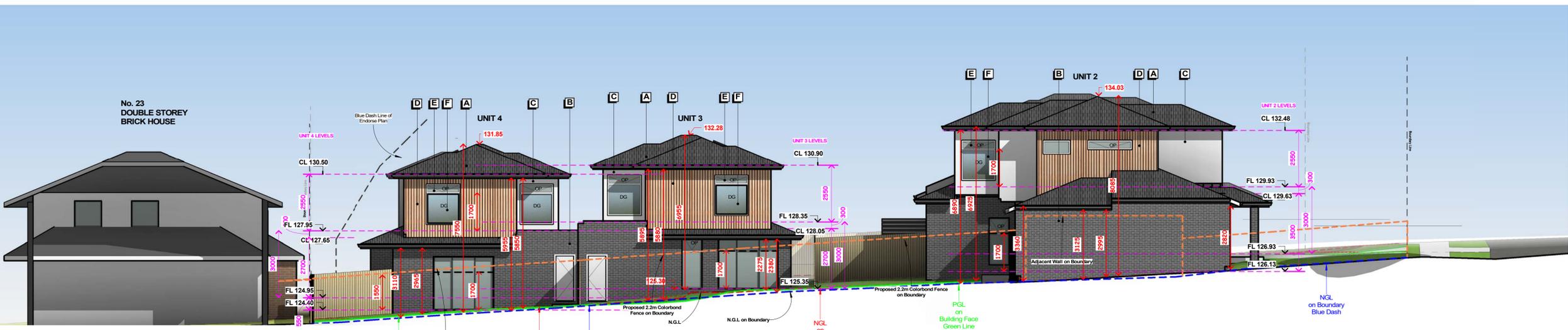
Ramp Unit 4 Garage 1:100



South Elevation 1:100



West and Street Elevation 1:100



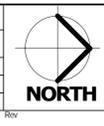
East Elevation 1:100

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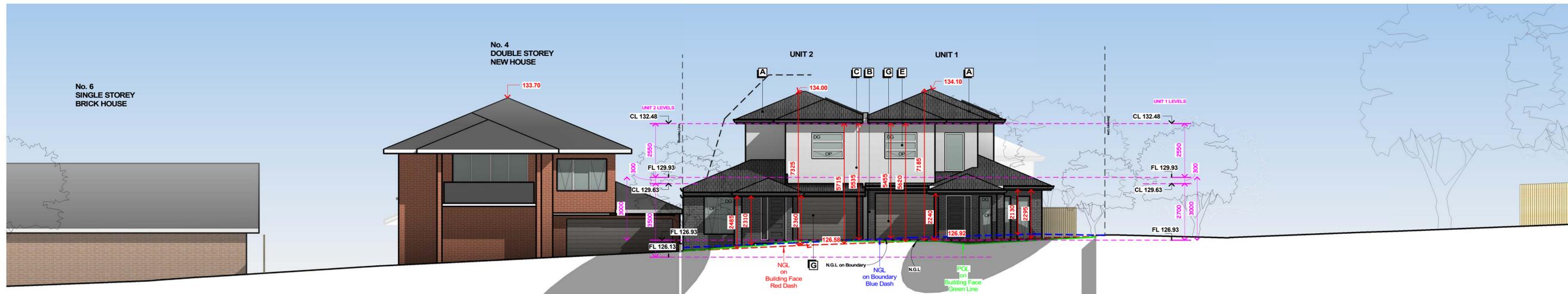
REV	DATE	DESCRIPTION	INITIAL

PROJECT
Four Unit Development
2 Ferguson St, Mitcham
TITLE
Elevations

Date 270623
Scale (A1) As indicated@ A1
Drawn by LF
Checked LF
Job Number 2019 - 45
Drawing Number TP5



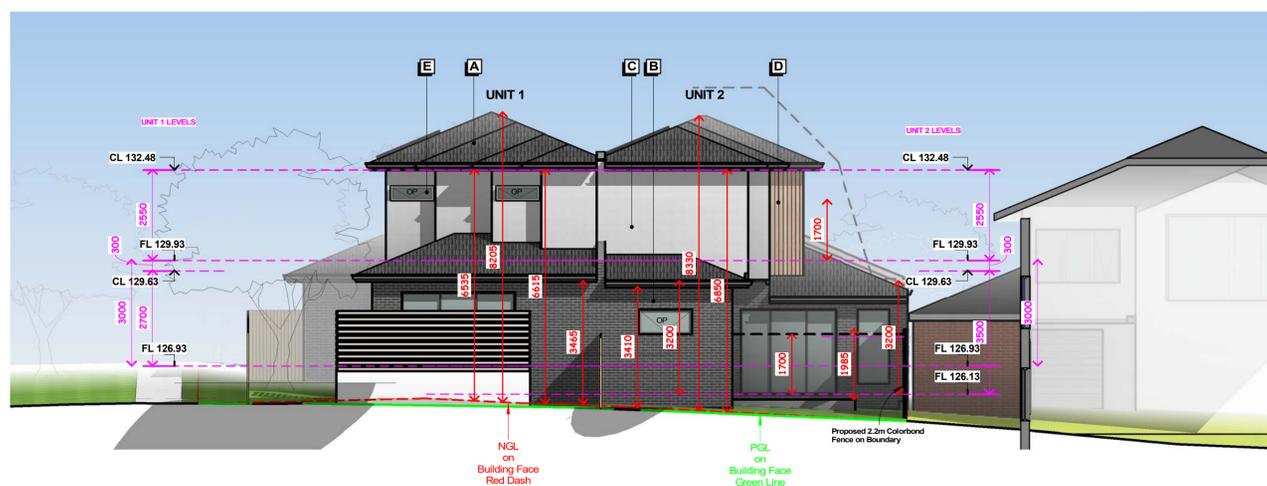
Builder/Contractor shall verify all dimensions before any job commences. Discrepancies with these drawings shall be reported immediately. All dimensions shall be as indicated on drawings unless otherwise stated. All drawings shall be submitted to the Architect/Engineer and approved before use. All drawings shall be submitted to the Architect/Engineer and approved before use.



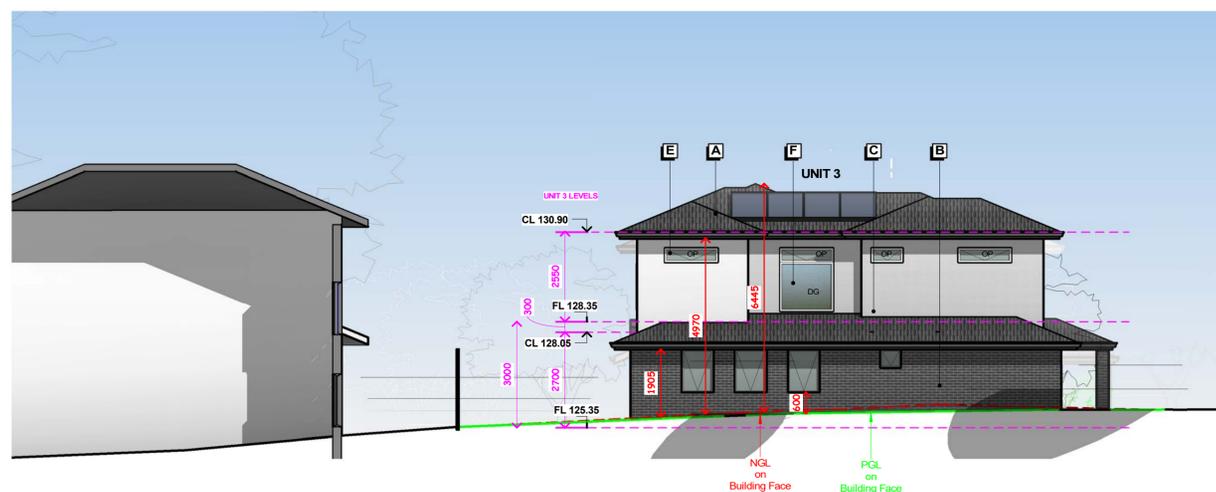
North and Street Elevation 1:100

- MATERIAL LEGEND**
- A TILED ROOF (Darker Grey)
 - B FACE BRICK (Brown)
 - C RENDER FINISH - WHITE
 - D TIMBER CLADDING
 - E CLEAR GLASS
 - F OBSCURED GLASS
 - G SECTIONAL GARAGE DOOR WITH DAYLIGHT
 - OP OPENABLE WINDOW / DOORS
 - DG DOUBLE GLAZING

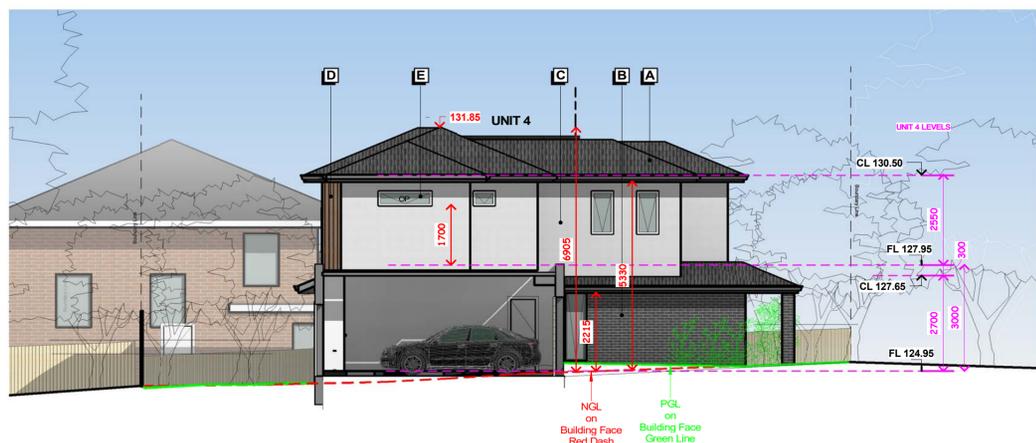
- NGL: Natural Ground Level
- PGL: Proposed Ground Level
- FLL: Finished Floor level
- FSL: Finished Surface Level



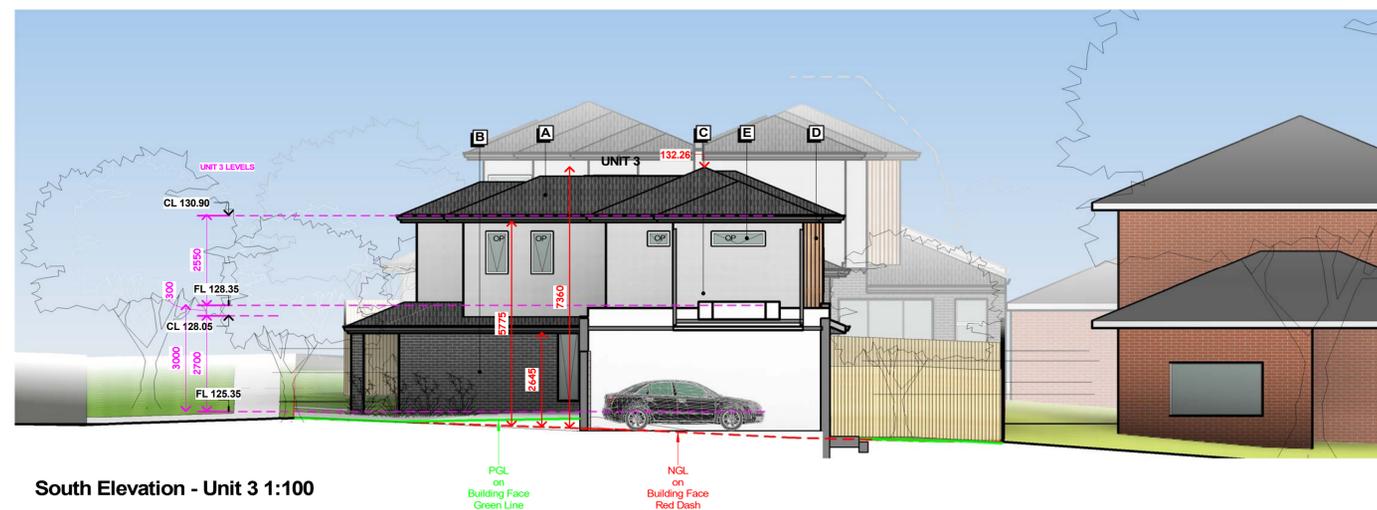
South Elevation - Unit 1 & 2 1:100



North Elevation - Unit 3 1:100



North Elevation - Unit 4 1:100



South Elevation - Unit 3 1:100

REV	DATE	DESCRIPTION	INITIAL
		Council RFI Issue C	

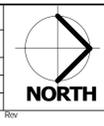
REV	DATE	DESCRIPTION

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Buildings/Constructors shall verify all dimensions before any job commences. Contractors shall also provide their own site plan and site conditions for the specification, other drawings and job drawings. All drawings shall be submitted to the Architect/Designer and shall be approved prior to the start of any construction.

PROJECT
Four Unit Development
2 Ferguson St, Mitcham
TITLE
Elevations 2

Date 270623
Scale (A1) As indicated@ A1
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Checked Checker
Job Number 2019 - 45
Drawing Number TP5A



CLAUSE 55

Proposed Four Dwelling Development
at
2 Ferguson St, Mitcham

55.01 Neighbourhood and Site Description



REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

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PROJECT
Proposed Two Unit Development
TITLE
Compliance B1
28 Blackwood Drive, Hampton Park

Date Issue Date
Scale (A1) 1 : 100@ A1
Drawn by Author
Checked Checker
Job Number 0001
Drawing Number



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B1 Title

55.01 Neighbourhood and Site Description

Standard B1-1 Neighbourhood description

- ① The predominant dwelling style is light density detached dwellings.
- ② Generally, a mixture of brick in a range of cream and orange tones and weatherboard dwellings.
- ③ Predominantly concrete roof tiles of various colours.
- ④ Subdivision pattern site sizes are generally 600 - 888 sqm. Frontages are generally 15m-30.20m.
- ⑤ Land topography is a slope across the area from north to south.
- ⑥ Dwelling heights are generally single storey with a number of two storey dwellings.
- ⑦ Street tree plantings are irregular. Street trees are predominantly medium size natives.
- ⑧ Vehicle Side driveways are provided with carports and garages present, adjacent to access/storage the dwelling.
- ⑨ Front gardens are generally low level with lawn and shrubs/trees.
- ⑩ Properties in the immediate and surrounding area are residential.



REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

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PROJECT
Proposed Two Unit Development

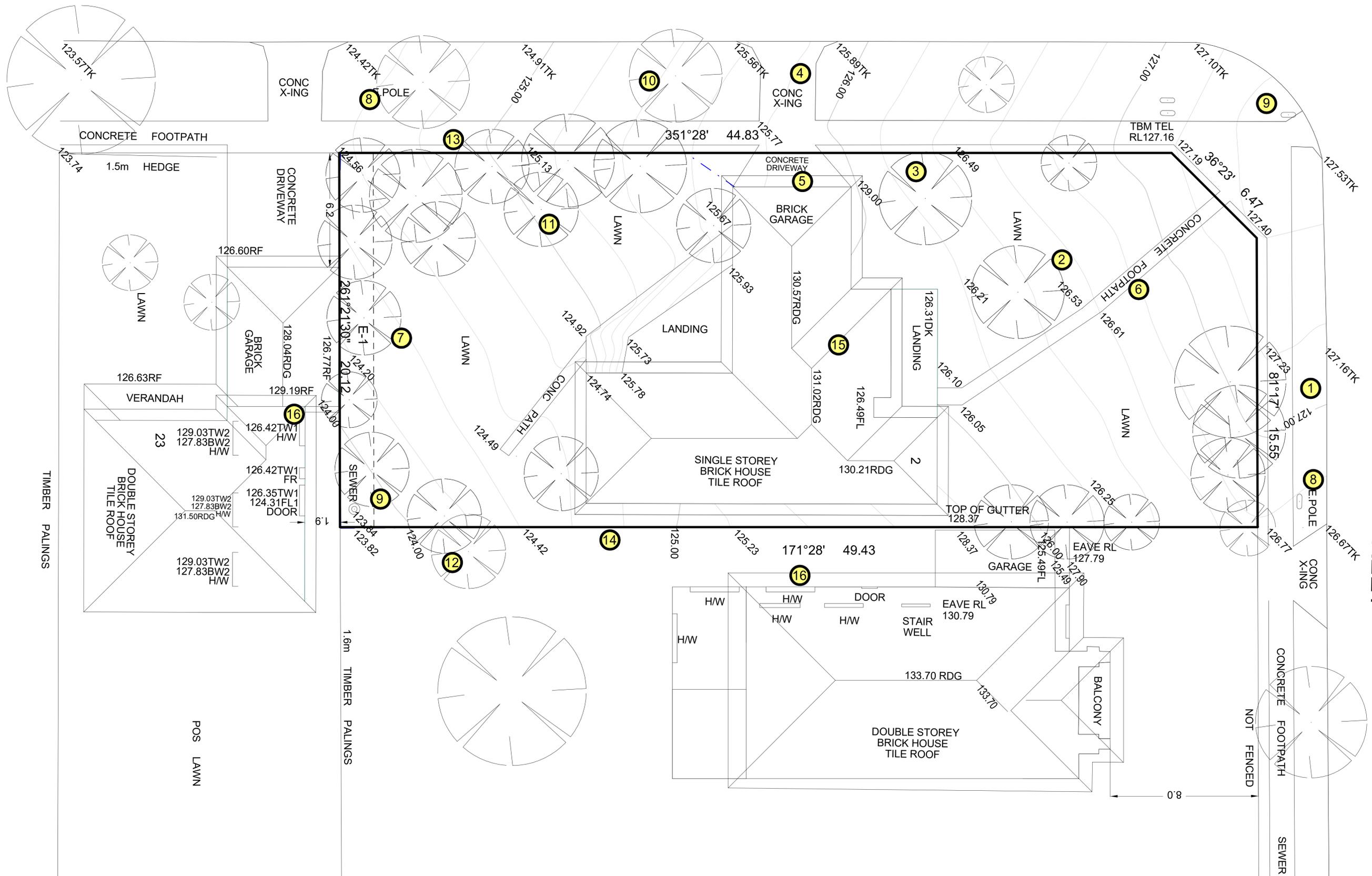
TITLE
Compliance B1-1
28 Blackwood Drive, Hampton Park

Date	Issue Date
Scale (A1)	As indicated@ A1
Drawn by	Author
Checked	Checker
Job Number	0001
Drawing Number	B1-1

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PURCHES STREET

FERGUSON STREET



REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B1-2 1
28 Blackwood Drive, Hampton Park

Date	Issue Date
Scale (A1)	As indicated@ A1
Drawn by	Author
Checked	Checker
Job Number	0001
Drawing Number	B1-2 1



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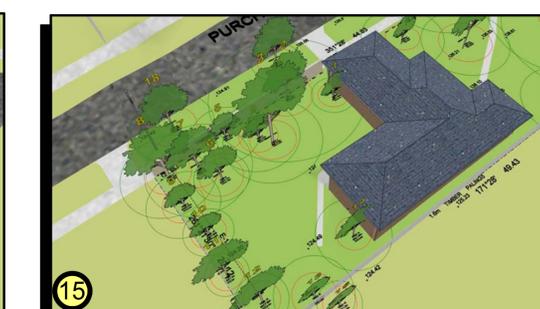
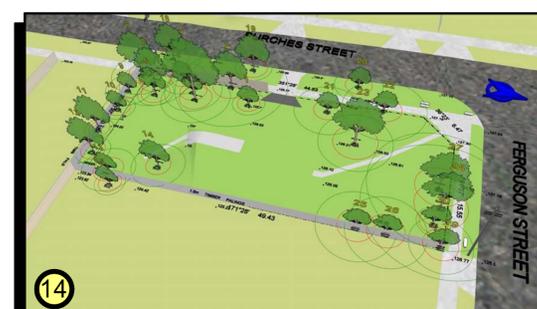
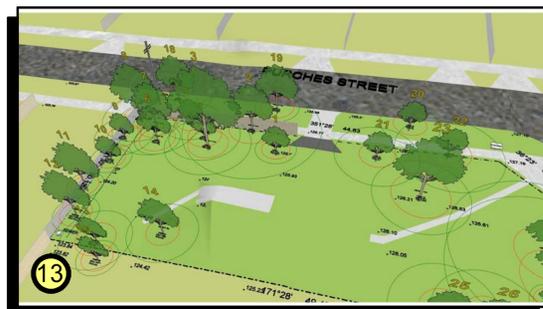
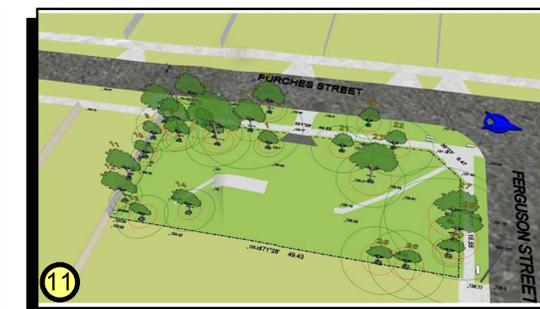
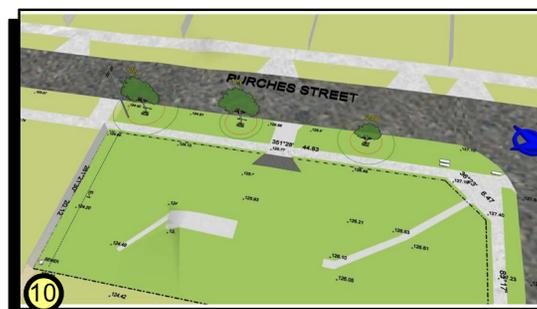
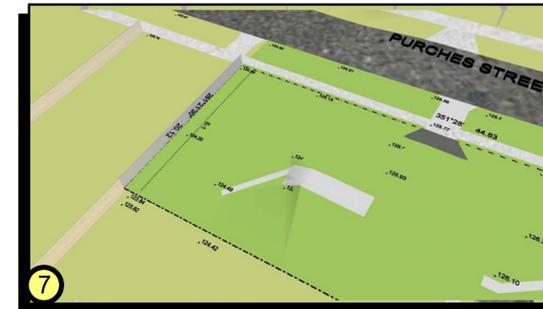
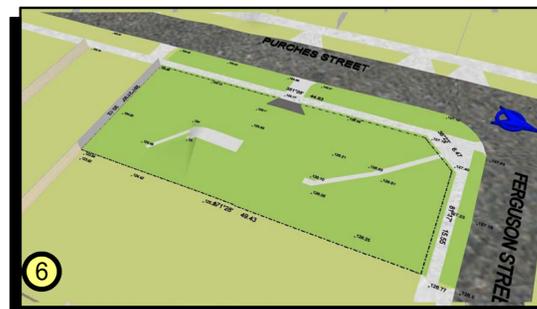
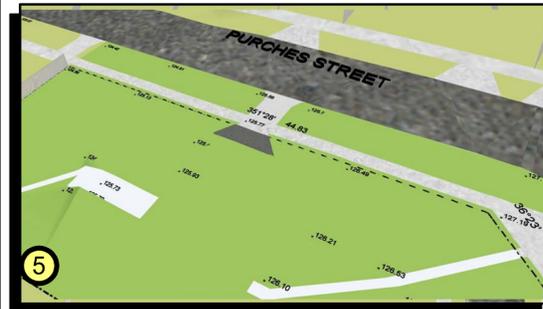
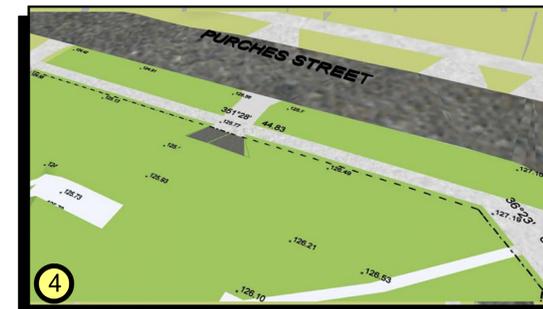
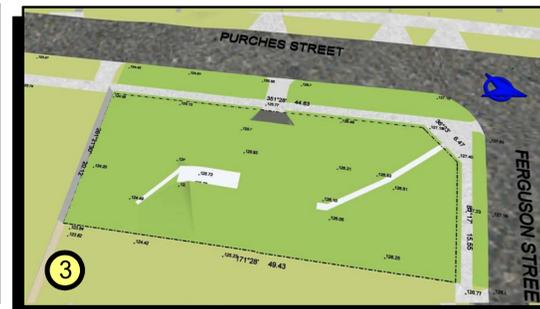
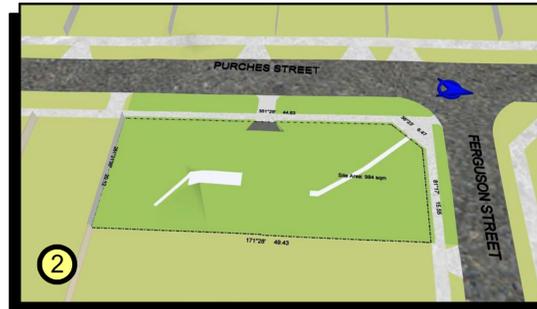
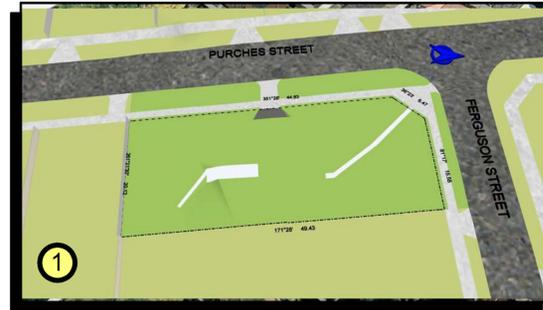
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55.01 Neighbourhood and Site Description

Standard B1-2 Site description

- ① Subject site width: 20.12m length: 49.93m
- ② Subject site area: 984 sqm
- ③ There is an approximate 2.95m fall along eastern boundary
- ④ A single crossover off Purches Street
- ⑤ An existing driveway on site
- ⑥ Existing footpath & paving on site
- ⑦ A 1.83m wide easement exists along the southern boundary
- ⑧ Electrical poles along Purches Street and Ferguson St
- ⑨ Sewer main at rear and electric pits on site frontage
- ⑩ 3 existing trees within natural strip along Purches Street
- ⑪ 24 existing trees on subject site
- ⑫ 2 existing trees on adjacent property
- ⑬ 2m high time paling fence along Purches Street front boundary
- ⑭ 1.6m high time paling fence along eastern boundary
- ⑮ A single storey brick dwelling with tile roof on site
- ⑯ Property No.4 to the east and No.23 to the south both have HW within 9m of subject site



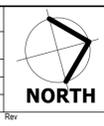
NOT TO BE USED FOR CONSTRUCTION PURPOSES

REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

General dimensions shall have precedence over detailed notes.
 All dimensions shall be in millimetres unless otherwise stated.
 All dimensions shall be to the centre of the line unless otherwise stated.
 All dimensions shall be to the centre of the line unless otherwise stated.
 All dimensions shall be to the centre of the line unless otherwise stated.

PROJECT
 Proposed Two Unit Development
 TITLE
 Compliance B1-2 2
 28 Blackwood Drive, Hampton Park

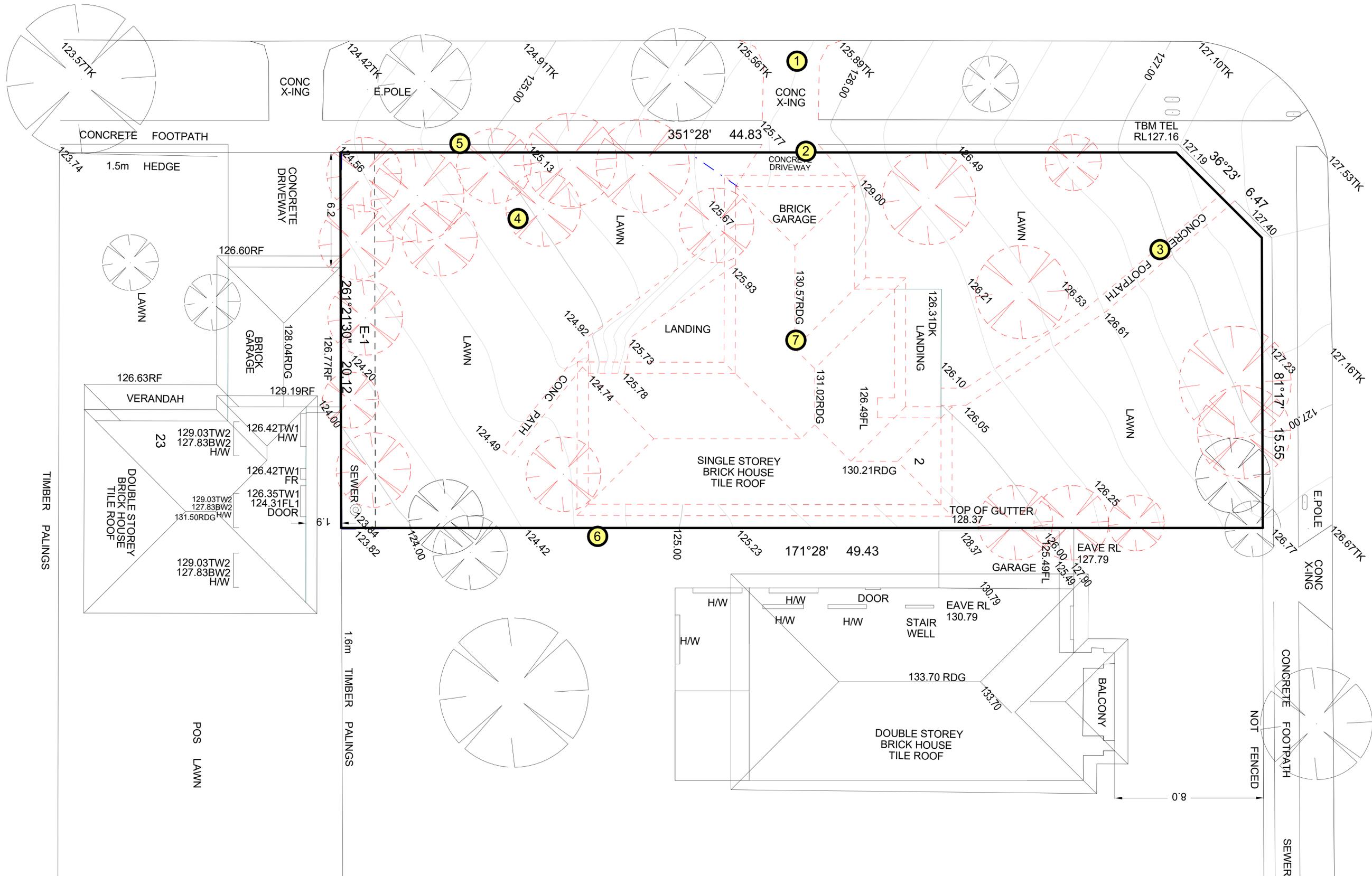
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Scale (A1)	As indicated@ A1
Drawn by	Author
Checked	Checker
Job Number	0001
Drawing Number	B1-2 2



PURCHES STREET

FERGUSON STREET

STREET



NOT TO BE USED FOR CONSTRUCTION PURPOSES

REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B1-3 1
28 Blackwood Drive, Hampton Park

Date	Issue Date
Scale (A1)	As indicated@ A1
Drawn by	Author
Checked	Checker
Job Number	0001
Drawing Number	B1-3 1

NORTH

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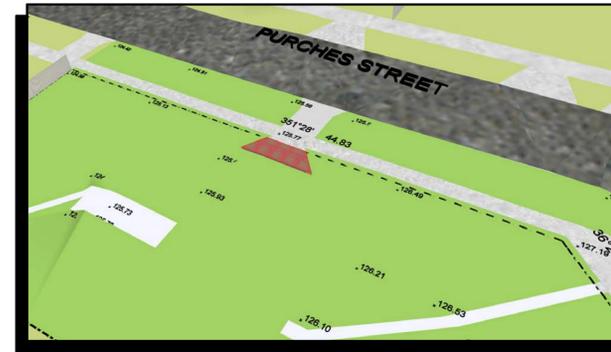
55.01 Neighbourhood and Site Description

Standard B1-3 Demolition plan

- ① Crossover off Purches Street will be removed
- ② Existing driveway on site will be removed
- ③ Existing footpath & paving on site will be removed
- ④ 22 existing trees on site are proposed to be removed
- ⑤ Fence along Purches Street front boundary is proposed to be removed
- ⑥ 1.6m high paling fence along the east boundary to be removed
- ⑦ The single storey brick dwelling with tile roof is proposed to be removed



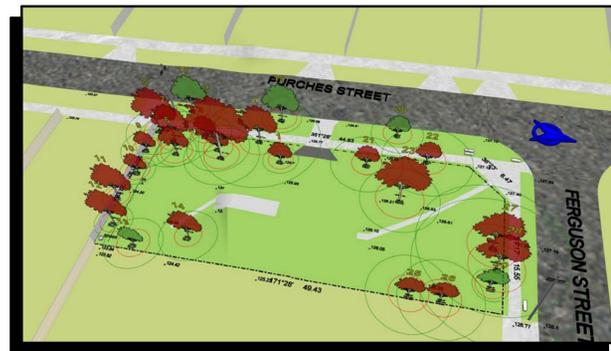
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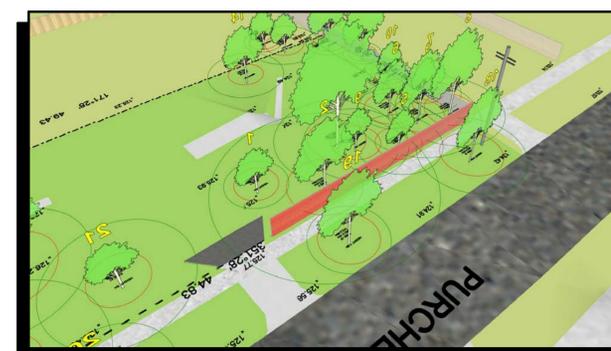
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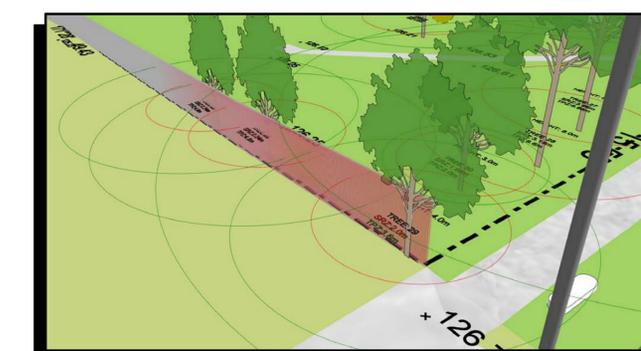
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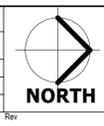
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PROJECT
Proposed Two Unit Development
TITLE
Compliance B1-3 2
28 Blackwood Drive, Hampton Park

Date	Issue Date
Scale (A1)	As indicated@ A1
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Job Number	0001
Drawing Number	B1-3 2



55.01 Neighbourhood and Site Description

Standard B1-4 Design response

- ① 4.8m wide crossovers off Purches street and Ferguson street are proposed
- ② 2 new driveways on site are proposed
- ③ New paving is proposed
- ④ 1 type B new tree and 2 type A new trees are proposed on site
- ⑤ 2.2m high colorbond fence is proposed along eastern boundary
- ⑥ New 1.8m high paling fences are proposed on site
- ⑦ Proposed Unit 1
- ⑧ Proposed Unit 2
- ⑨ Proposed Unit 3
- ⑩ Proposed Unit 4
- ⑪ Proposed storage, water tank, bins and cloth line for Unit 1
- ⑫ Proposed storage, water tank, bins and cloth line for Unit 2
- ⑬ Proposed storage, water tank, bins and cloth line for Unit 3
- ⑭ Proposed storage, water tank, bins and cloth line for Unit 4
- ⑮ Proposed mail boxes for Unit 1 & 2
- ⑯ Proposed mail boxes for Unit 3 & 4

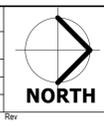


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PROJECT
Proposed Two Unit Development
TITLE
Compliance B1-4 2
28 Blackwood Drive, Hampton Park

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Job Number	0001
Drawing Number	B1-4 2



Customer/Contractor shall verify the dimensions before any construction.
General dimensions shall have a tolerance of +/- 10mm.
When an angle is given, it shall be to the horizontal unless otherwise stated.
When an angle is given, it shall be to the horizontal unless otherwise stated.
When an angle is given, it shall be to the horizontal unless otherwise stated.
When an angle is given, it shall be to the horizontal unless otherwise stated.

CLAUSE 55

Proposed Four Dwelling Development
at
2 Ferguson St, Mitcham

55.02 Neighbourhood Character



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© Council/Contractor shall verify the dimensions before any site construction.
General dimensions shall have precedence over detailed work.
Work shall not commence until the final dimensions, clear drawings and all instructions
for work in progress have been issued to the contractor/contractor and instructions
shall be confirmed prior to the start of required work through approval by the
contractor/contractor.

PROJECT
Proposed Two Unit Development
TITLE
Compliance B2
28 Blackwood Drive, Hampton Park

Date Issue Date
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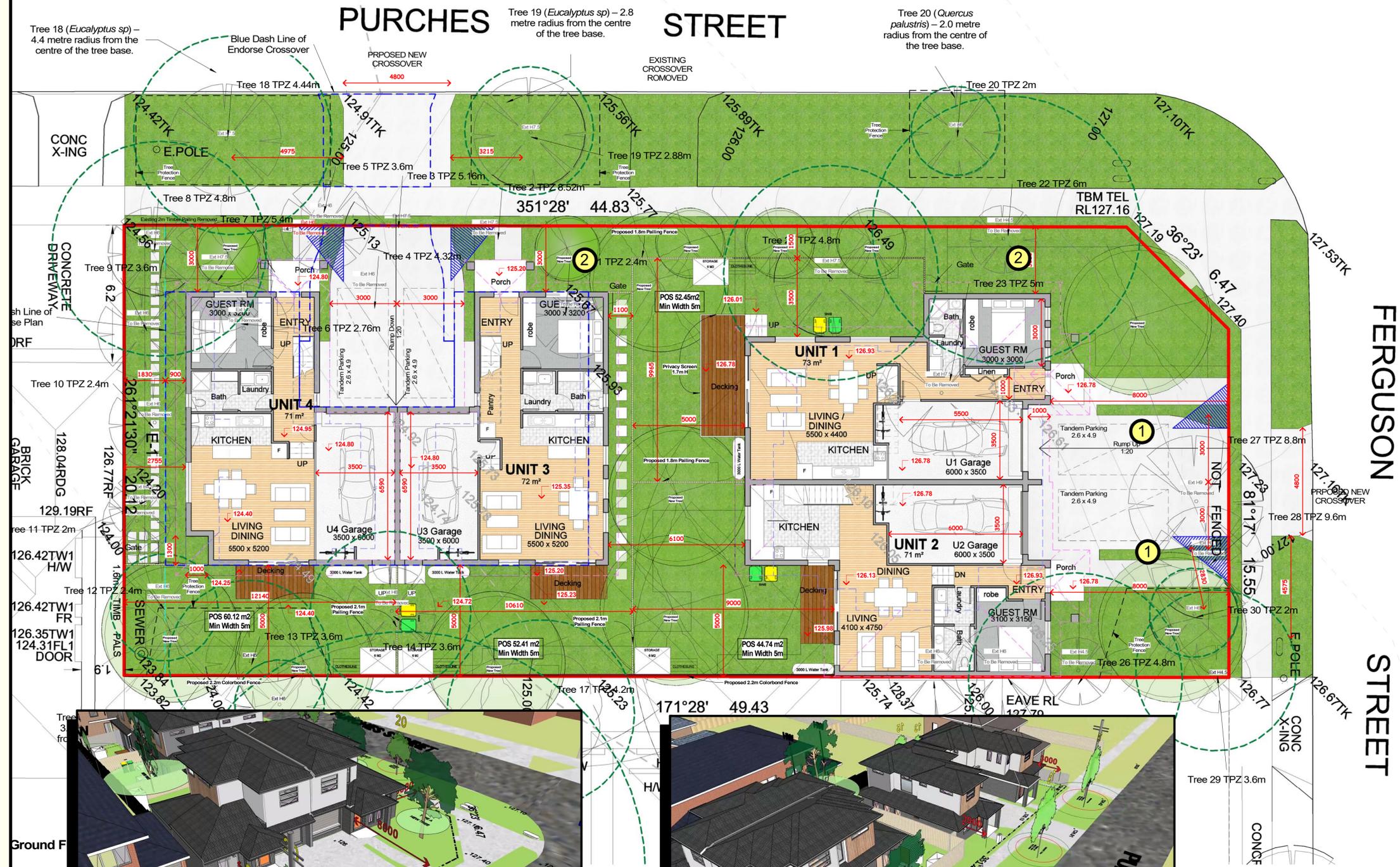
B2 Title

55.02 Neighbourhood Character

Standard B2-1 Street setback



- ① The proposed Unit 1 & 2 will have a 8.0m front setback at ground floor level from Ferguson Street.
- ② The proposed Unit 1 & 3 & 4 will have a 3.0m front setback at ground floor level from Purches Street.
- ③ The proposed Unit 1 & 2 will have further front setback at first floor level from Ferguson Street.
- ④ The proposed Unit 1 & 3 & 4 will have further front setback at first floor level from Purches Street.



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PROJECT
Proposed Two Unit Development

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Compliance B2-1 1
28 Blackwood Drive, Hampton Park

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PURCHES STREET



3



4

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PROJECT
Proposed Two Unit Development

TITLE
Compliance B2-1 2
28 Blackwood Drive, Hampton Park

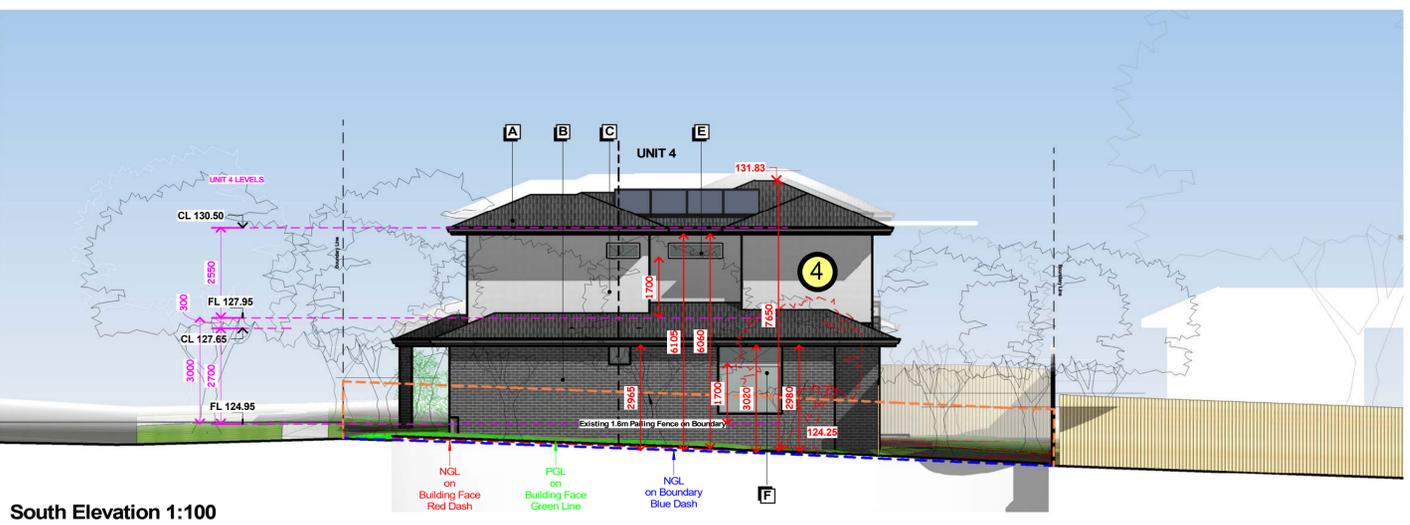
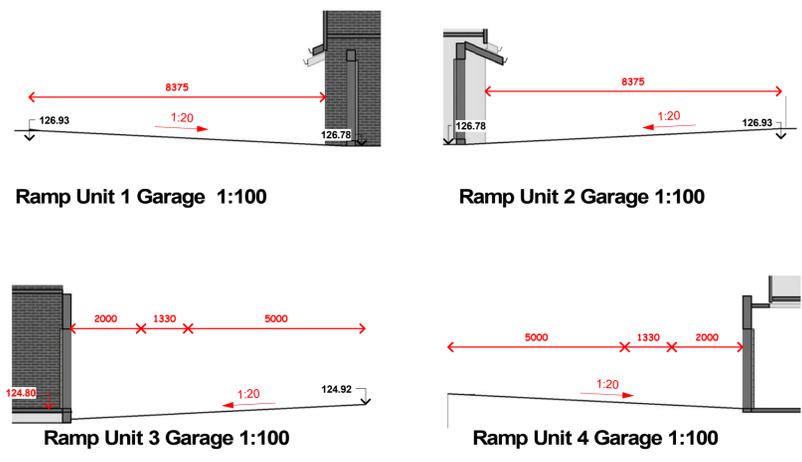
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Job Number 0001
Drawing Number B2-1 2



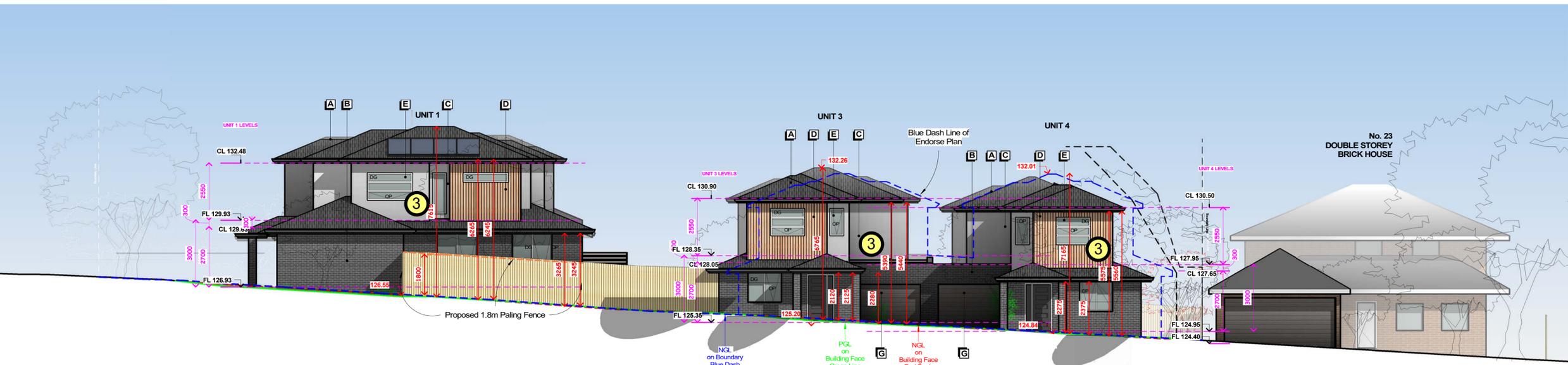
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- MATERIAL LEGEND**
- A TILED ROOF (Darker Grey)
 - B FACE BRICK (Brown)
 - C RENDER FINISH - WHITE
 - D TIMBER CLADDING
 - E CLEAR GLASS
 - F OBSCURED GLASS
 - G SECTIONAL GARAGE DOOR WITH DAYLIGHT
 - OP OPENABLE WIDNOW /DOORS
 - DG DOUBLE GLAZING
- NGL: Natural Ground Level
 PGL: Proposed Ground Level
 FFL: Finished Floor level
 FSL: Finished Surface Level



South Elevation 1:100



West and Street Elevation 1:100



East Elevation 1:100

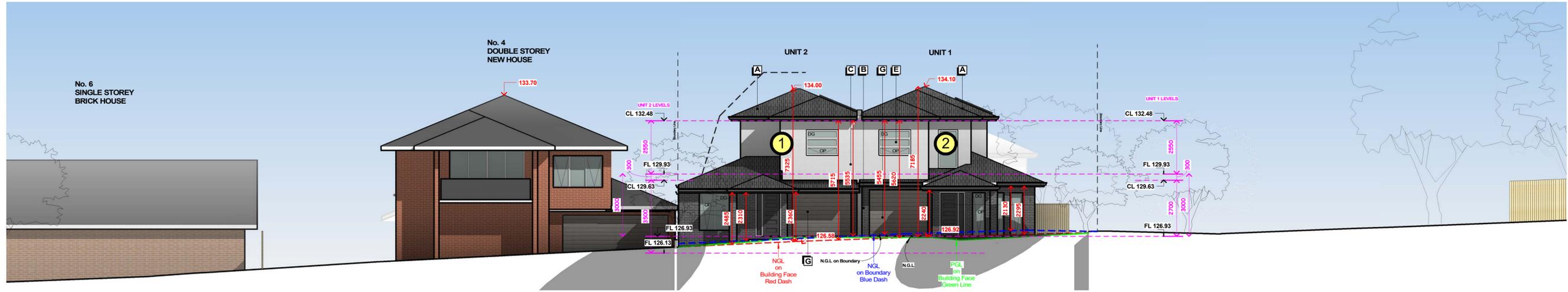
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PROJECT Proposed Two Unit Development
 TITLE Compliance B2-2 1
 28 Blackwood Drive, Hampton Park

Date Issue Date
 Scale (A1) 1 : 100@ A1
 Drawn by Author
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 Job Number 0001
 Drawing Number B2-2 1

NORTH

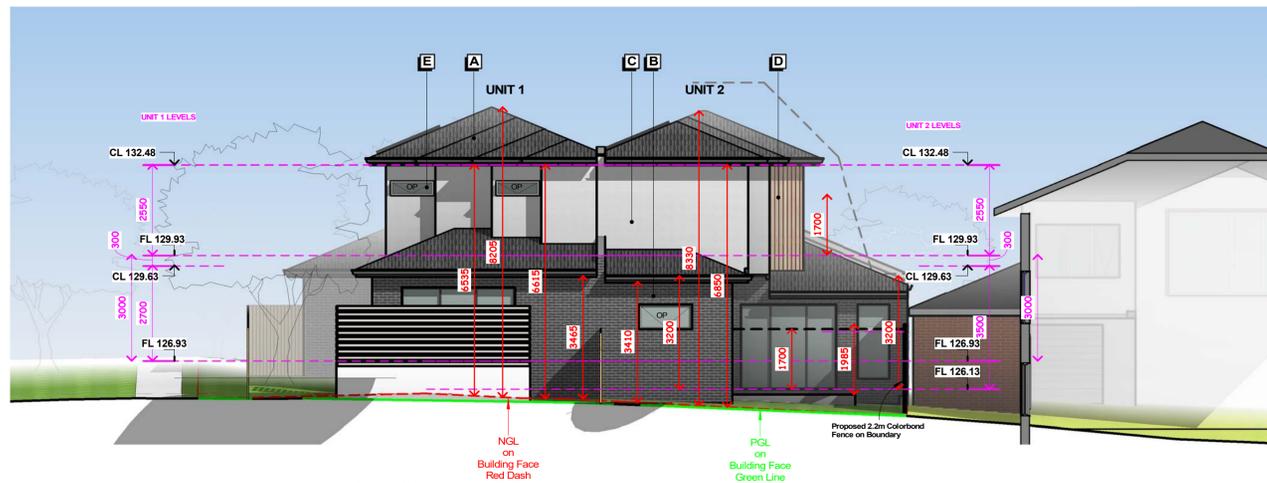


North and Street Elevation 1:100

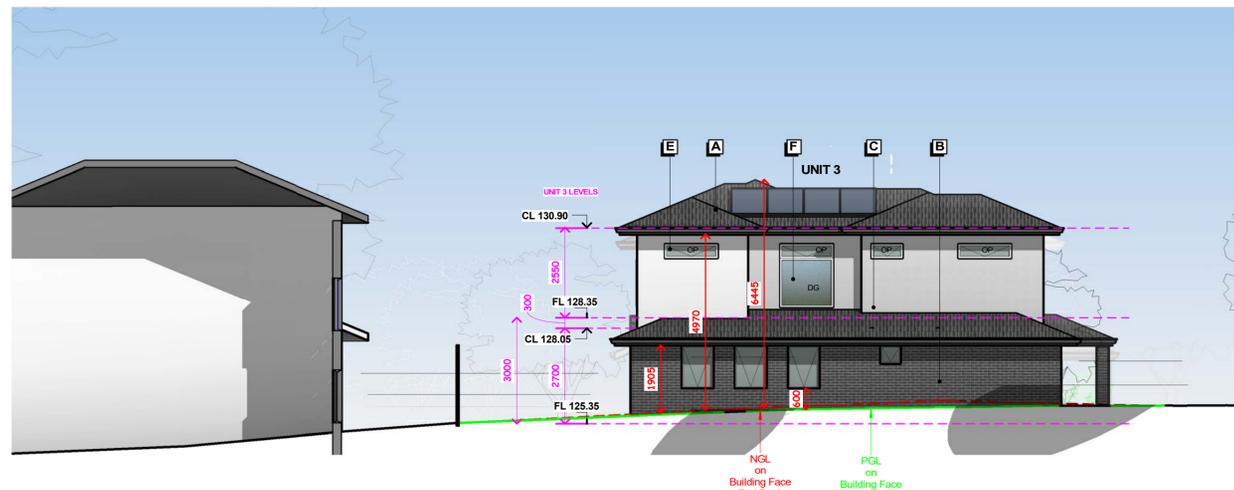
MATERIAL LEGEND

- A TILED ROOF (Darker Grey)
- B FACE BRICK (Brown)
- C RENDER FINISH - WHITE
- D TIMBER CLADDING
- E CLEAR GLASS
- F OBSCURED GLASS
- G SECTIONAL GARAGE DOOR WITH DAYLIGHT
- OP OPENABLE WINDOW / DOORS
- DG DOUBLE GLAZING

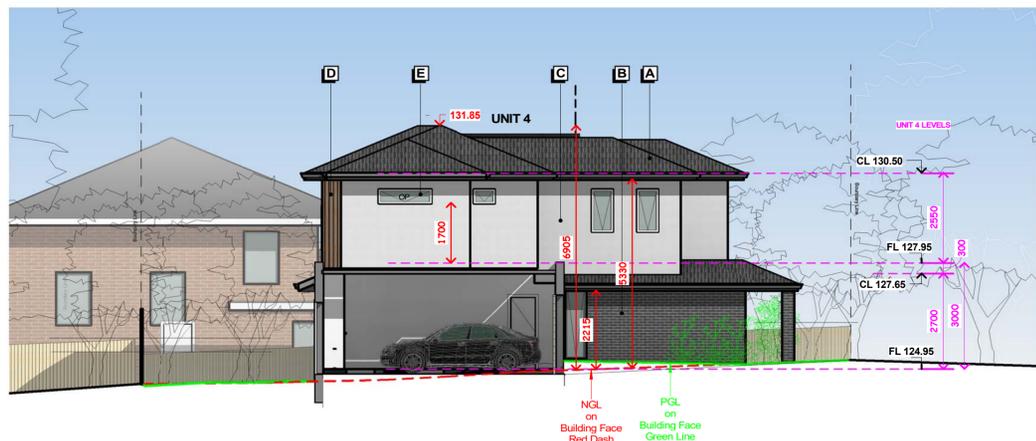
NGL: Natural Ground Level
 PGL: Proposed Ground Level
 FFL: Finished Floor level
 FSL: Finished Surface Level



South Elevation - Unit 1 & 2 1:100



North Elevation - Unit 3 1:100



North Elevation - Unit 4 1:100



South Elevation - Unit 3 1:100

REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

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PROJECT Proposed Two Unit Development
 TITLE Compliance B2-2 2
 28 Blackwood Drive, Hampton Park

Date	Issue Date
Scale (A1)	1 : 100@ A1
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Checked	Checker
Job Number	0001
Drawing Number	B2-2 2



55.02 Neighbourhood Character

Standard B2-2 Building height



①



②



③



④



⑤



⑥

- ① The overall total height of the proposed Unit 1 & 2 from natural ground level is less than the 9m.
- ② The overall total height of the proposed Unit 1 & 2 from natural ground level is less than the 9m.
- ③ The overall total height of the proposed Unit 3 & 4 from natural ground level is less than the 9m.
- ④ The overall total height of the proposed Unit 4 from natural ground level is less than the 9m.
- ⑤ The overall total height of the proposed Unit 3 & 4 from natural ground level is less than the 9m.
- ⑥ The overall total height of the proposed Unit 2 from natural ground level is less than the 9m.

REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

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PROJECT
Proposed Two Unit Development

TITLE
Compliance B2-2 3
28 Blackwood Drive, Hampton Park

Date	Issue Date
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Job Number	0001
Drawing Number	B2-2 3



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55.02 Neighbourhood Character

Standard B2-3 Side and rear setbacks



- 1 Proposed Unit 2 is set back from west boundary at least 1m, plus 0.3m for every metre of height over 3.6m up to 6.9m, plus 1 metre for every metre of height over 6.9m.



1

2

REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B2-3 1
28 Blackwood Drive, Hampton Park

Date Issue Date

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Drawing Number B2-3 1



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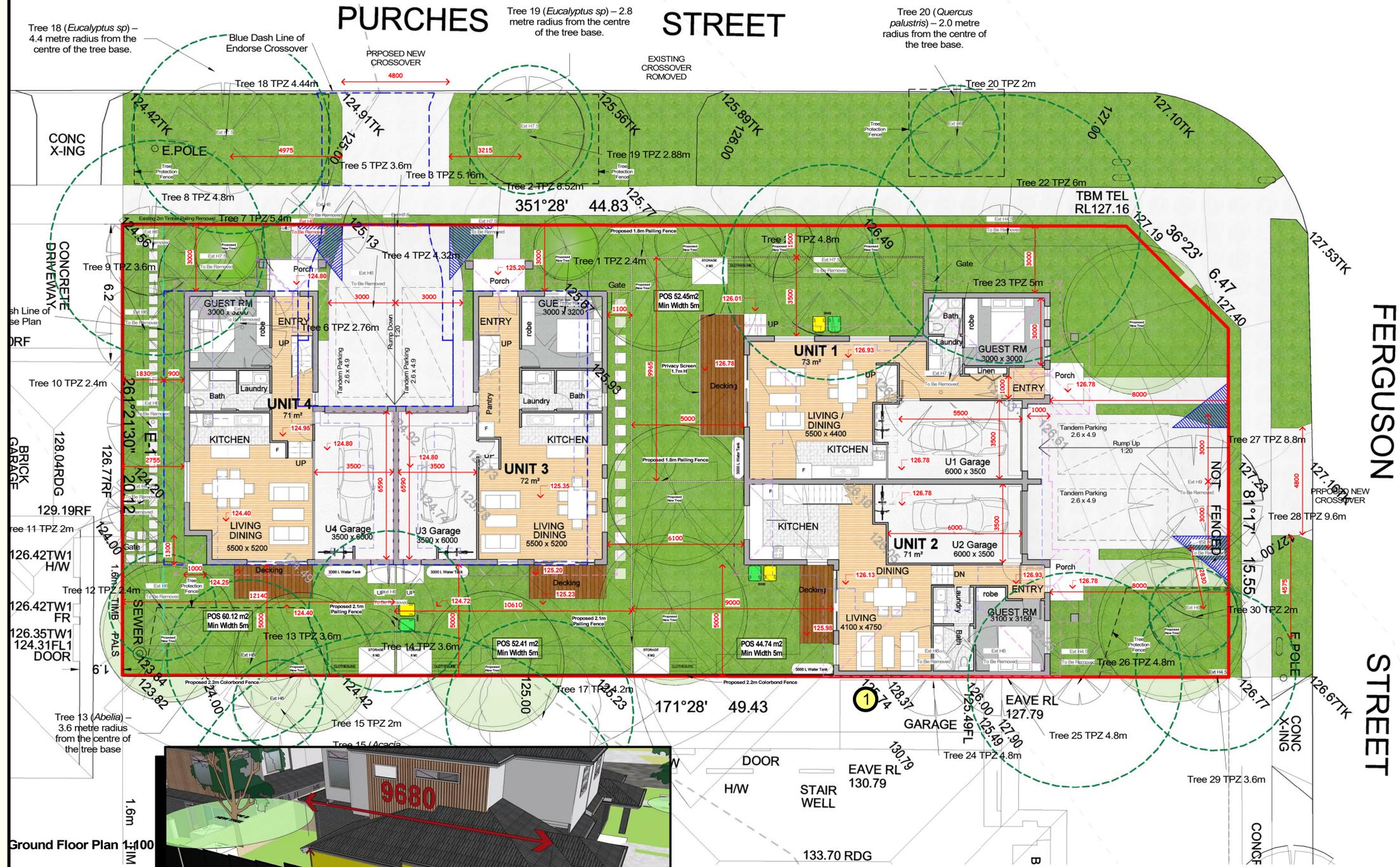
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55.02 Neighbourhood Character

Standard B2-4 Walls on boundaries



1 The length of proposed unit 2 garage wall on west boundary is 9.68m. The area of wall is 30.4sqm. The average height of the wall is 3.14m. The maximum height wall height is 3.36m.



Ground Floor Plan 1:100



1

REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B2-4 1
28 Blackwood Drive, Hampton Park

Date Issue Date

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Drawing Number

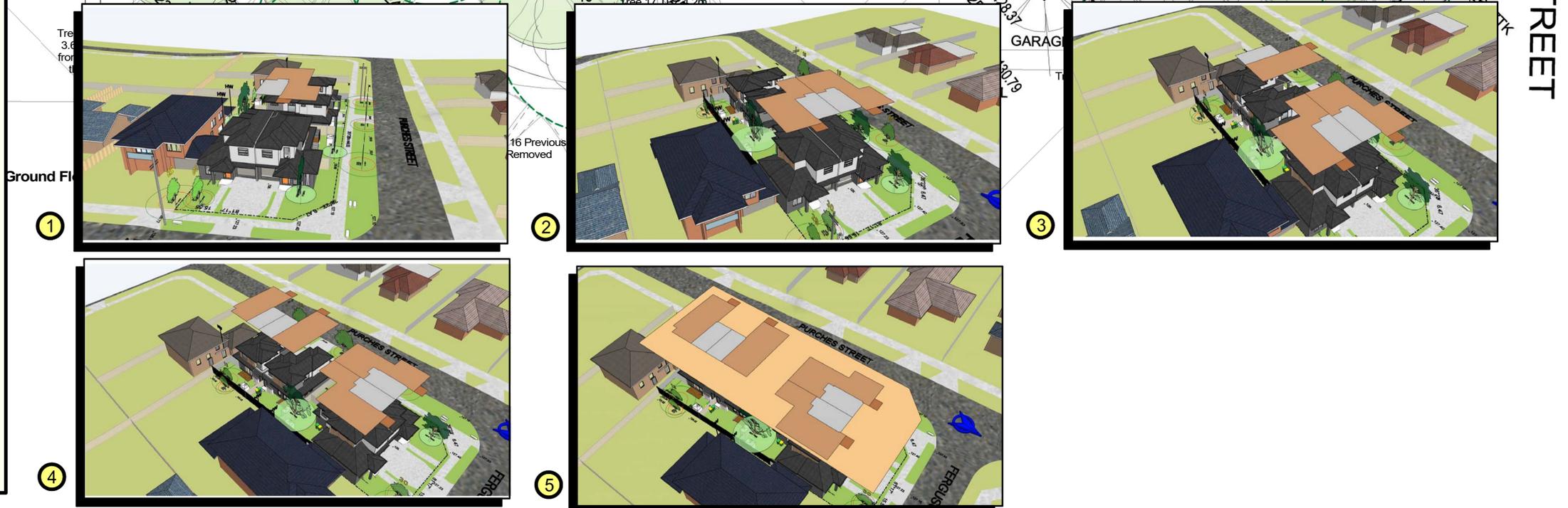
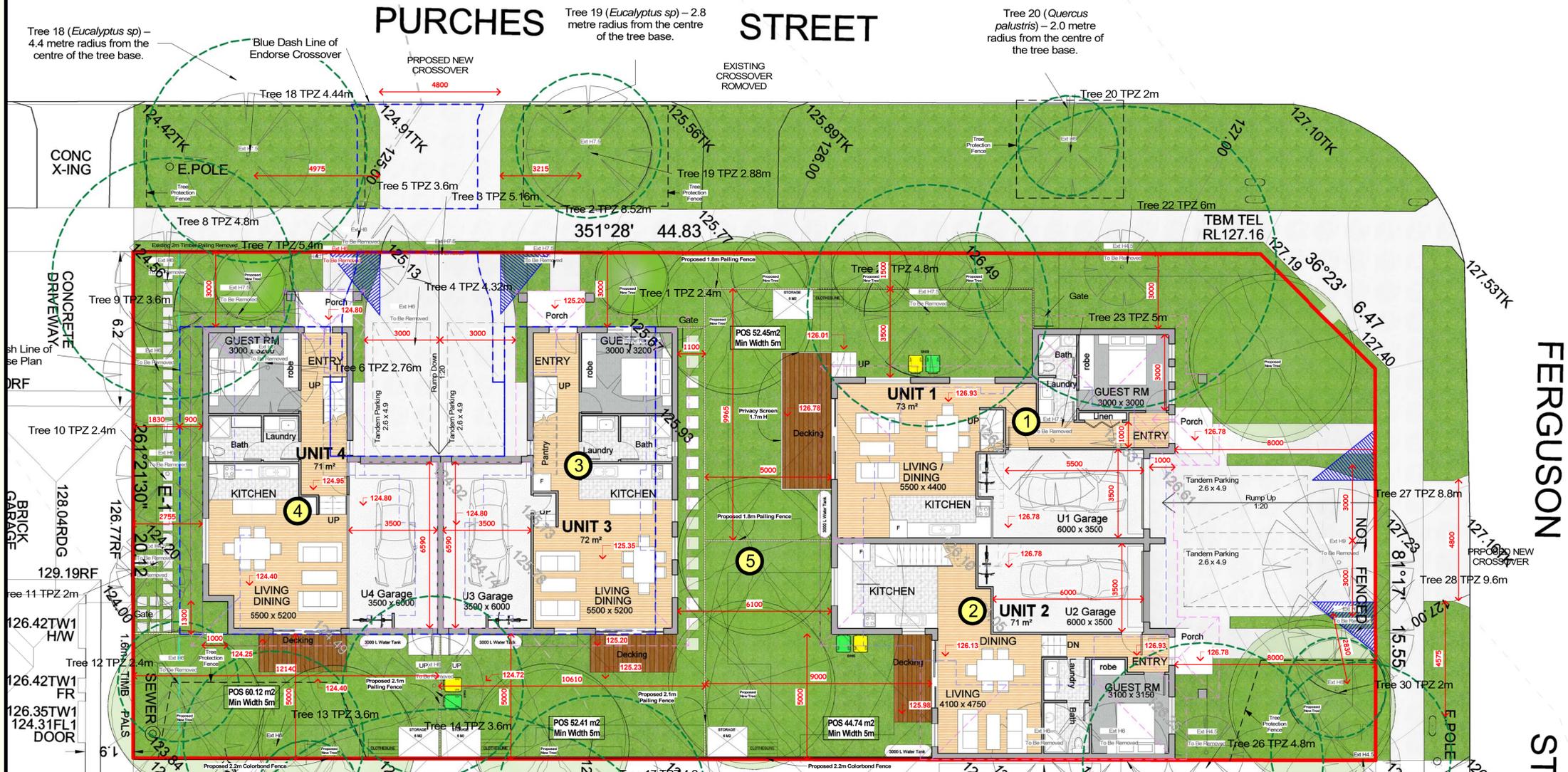


55.02 Neighbourhood Character

Standard B2-5 Site coverage



- 1 Proposed Unit 1 site coverage area is 98 sqm.
- 2 Proposed Unit 2 site coverage area is 96 sqm.
- 3 Proposed Unit 3 site coverage area is 97 sqm.
- 4 Proposed Unit 3 site coverage area is 96 sqm.
- 5 The subject site area is 984 sqm. The total site coverage area is 379 sqm. Site coverage is 38.52%.



REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B2-5 1
28 Blackwood Drive, Hampton Park

Date	Issue Date
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Job Number	0001
Drawing Number	B2-5 1



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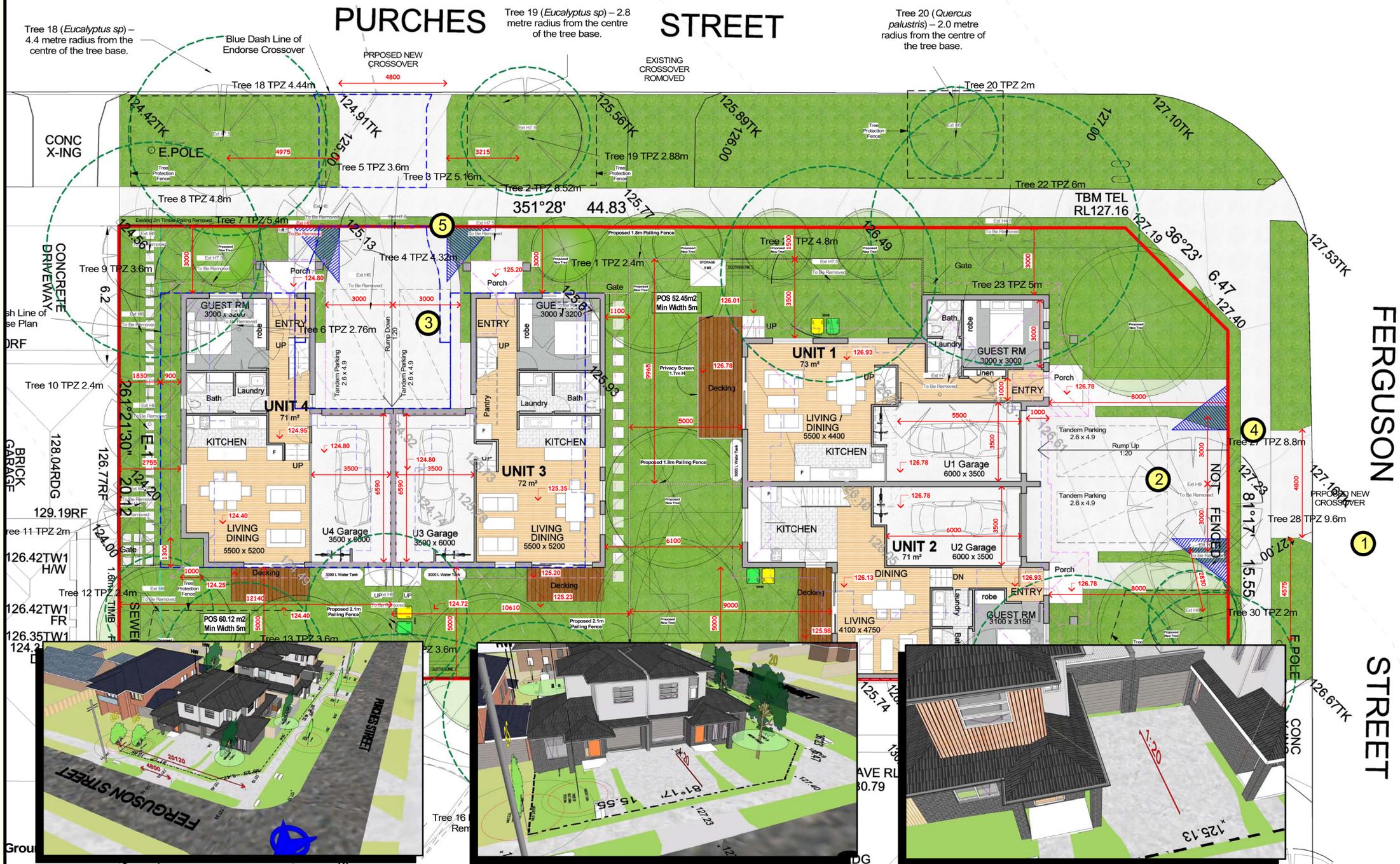
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55.02 Neighbourhood Character

Standard B2-6 Access



- 1 The total street frontage of Ferguson St is 20.12m. The width of proposed new single crossover is 4.80m, which is less than 40% of street frontage.
- 2 Proposed Unit 1 & 2 tandem parking grade is 1:20.
- 3 Proposed Unit 3 & 4 tandem parking grade is 1:20.
- 4 Proposed Unit 1 & 2 corner splay at least 50 per cent clear of visual obstructions extending at least 2 metres along the frontage road from the edge of an exit lane and 2.5 metres along the exit lane from the frontage.
- 5 Proposed Unit 3 & 4 corner splay at least 50 per cent clear of visual obstructions extending at least 2 metres along the frontage road from the edge of an exit lane and 2.5 metres along the exit lane from the frontage.
- 6 Proposed Unit 2 has an internal radius of at least 4 metres at changes of direction.



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PROJECT
Proposed Two Unit Development
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Compliance B2-6 1
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Job Number 0001
Drawing Number B2-6 1



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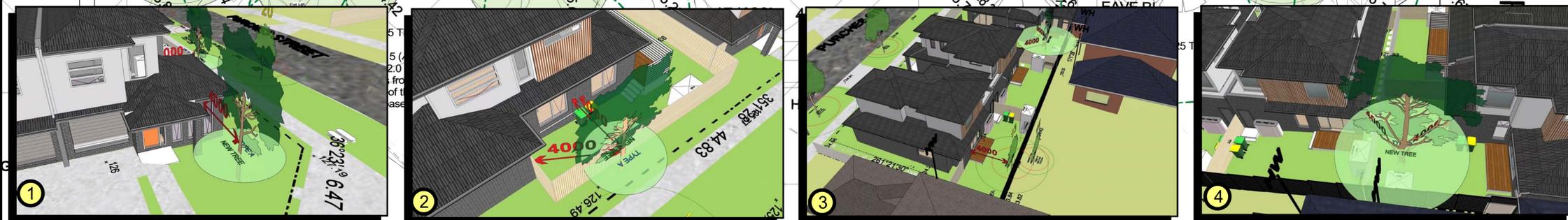
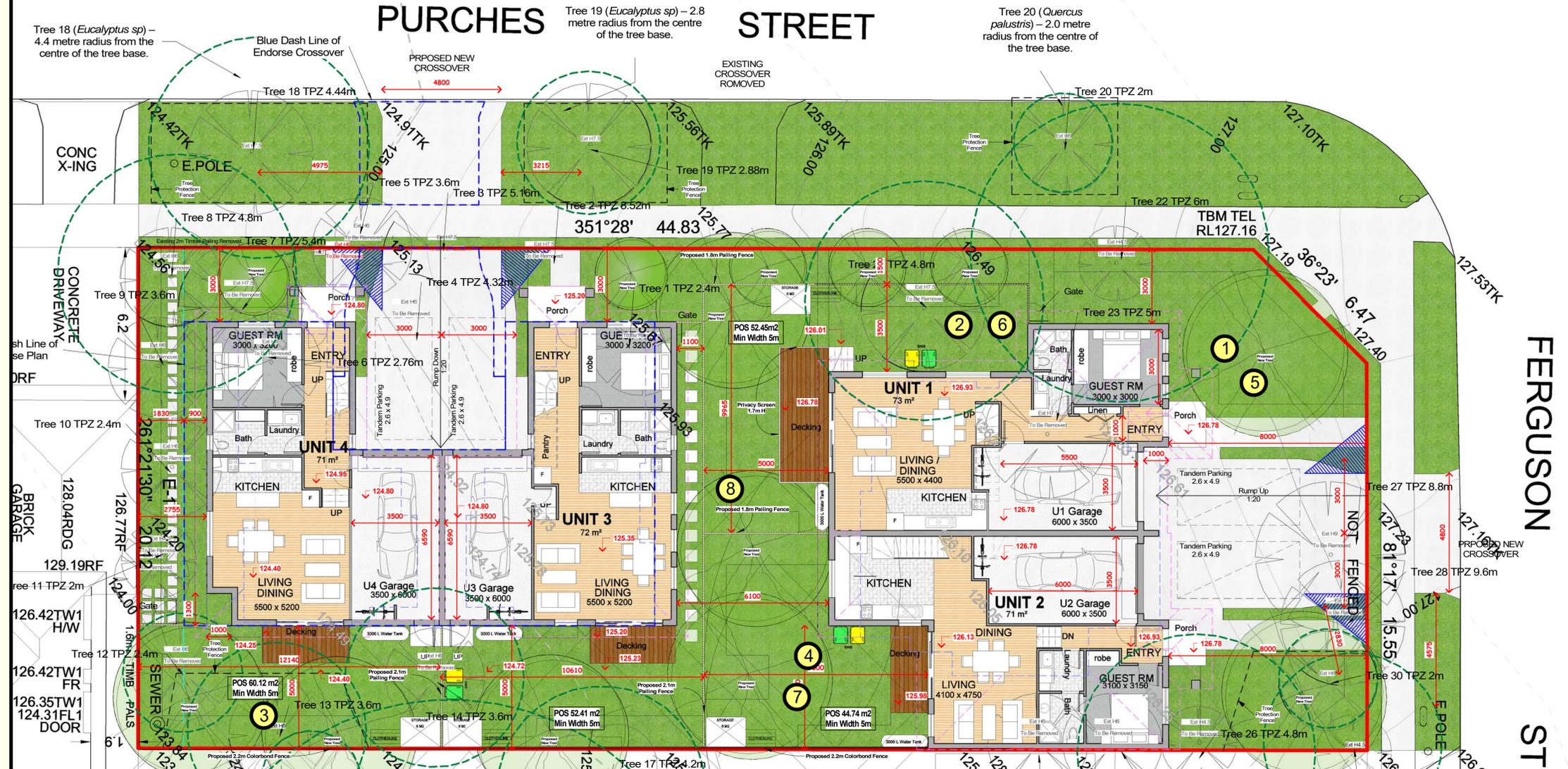
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55.02 Neighbourhood Character

Standard B2-7 Tree canopy



- ① New type A tree with trunk located more than 4 metres from the development are proposed in the front setback.
- ② New type A tree with trunk located more than 4 metres from the development are proposed in the side street front setback.
- ③ Existing retained type A tree with trunk located more than 4 metres from the development.
- ④ New type B tree with trunk located more than 4 metres from the development are proposed in Unit 2 POS.
- ⑤ New Type A Tree is planted in deep soil with minimum area of 12.6 sqm and minimum plan dimension of 2.5m.
- ⑥ New Type A Tree is planted in deep soil with minimum area of 12 sqm and minimum plan dimension of 2.5m.
- ⑦ New Type B Tree is planted in deep soil with minimum area of 49 sqm and minimum plan dimension of 4.5m.
- ⑧ Totally, there are 2 existing type A and 2 proposed new type A and 1 proposed new type B trees on site. The total canopy area is 100.7 sqm, greater than 10% of site area.



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Drawing Number	B2-7 1

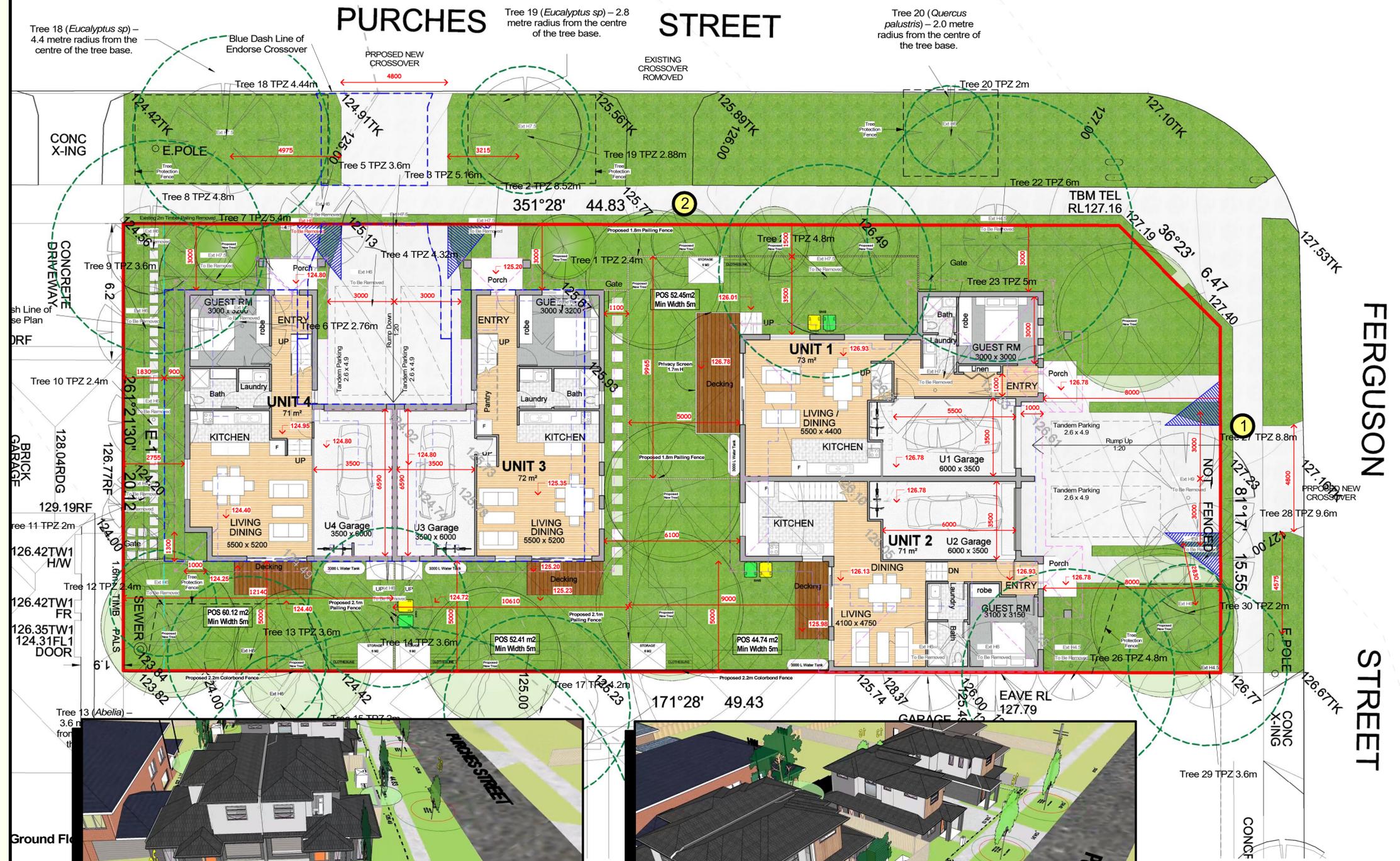


55.02 Neighbourhood Character

Standard B2-8 Front fences



- ① No new front fence is proposed for the development along Ferguson Street.
- ② No new front fence is proposed for the development along Purches Street.



①



②

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REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

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Compliance B2-8 1
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CLAUSE 55

Proposed Four Dwelling Development
at
2 Ferguson St, Mitcham

55.03 Liveability



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General dimensions shall have precedence over detailed notes.
When used for compliance to the specifications, only drawings and not dimensions.
When used to verify the dimensions, only drawings and not dimensions.
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PROJECT
Proposed Two Unit Development
TITLE
Compliance B3
28 Blackwood Drive, Hampton Park

Date Issue Date
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Drawing Number



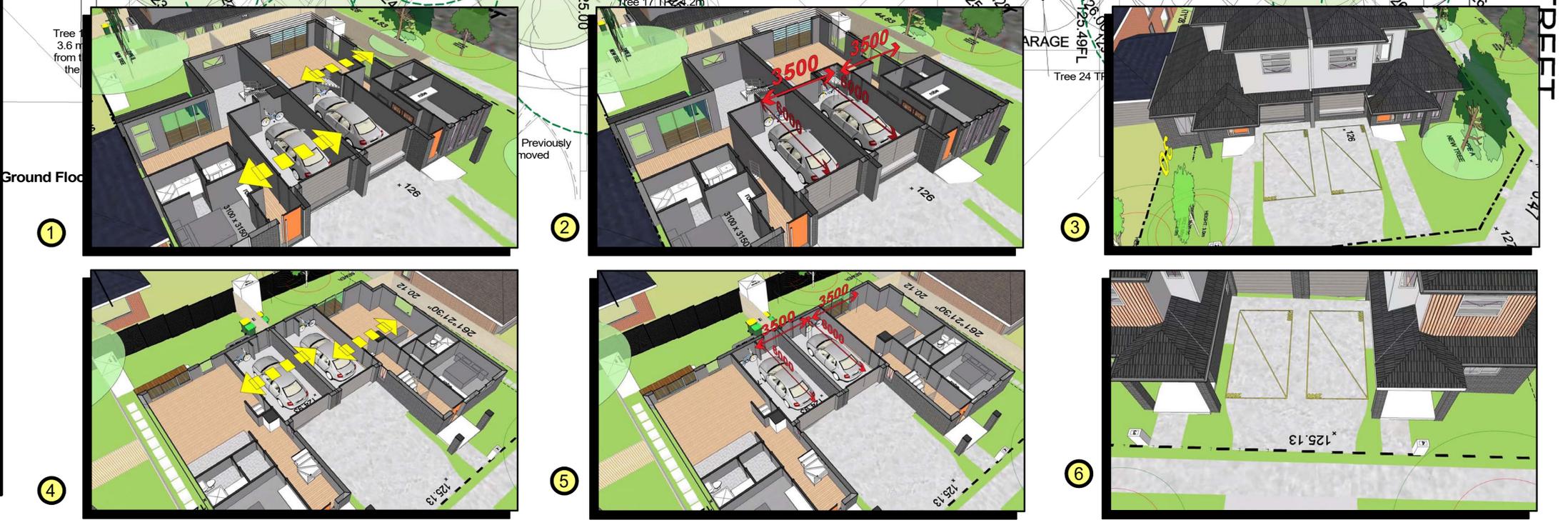
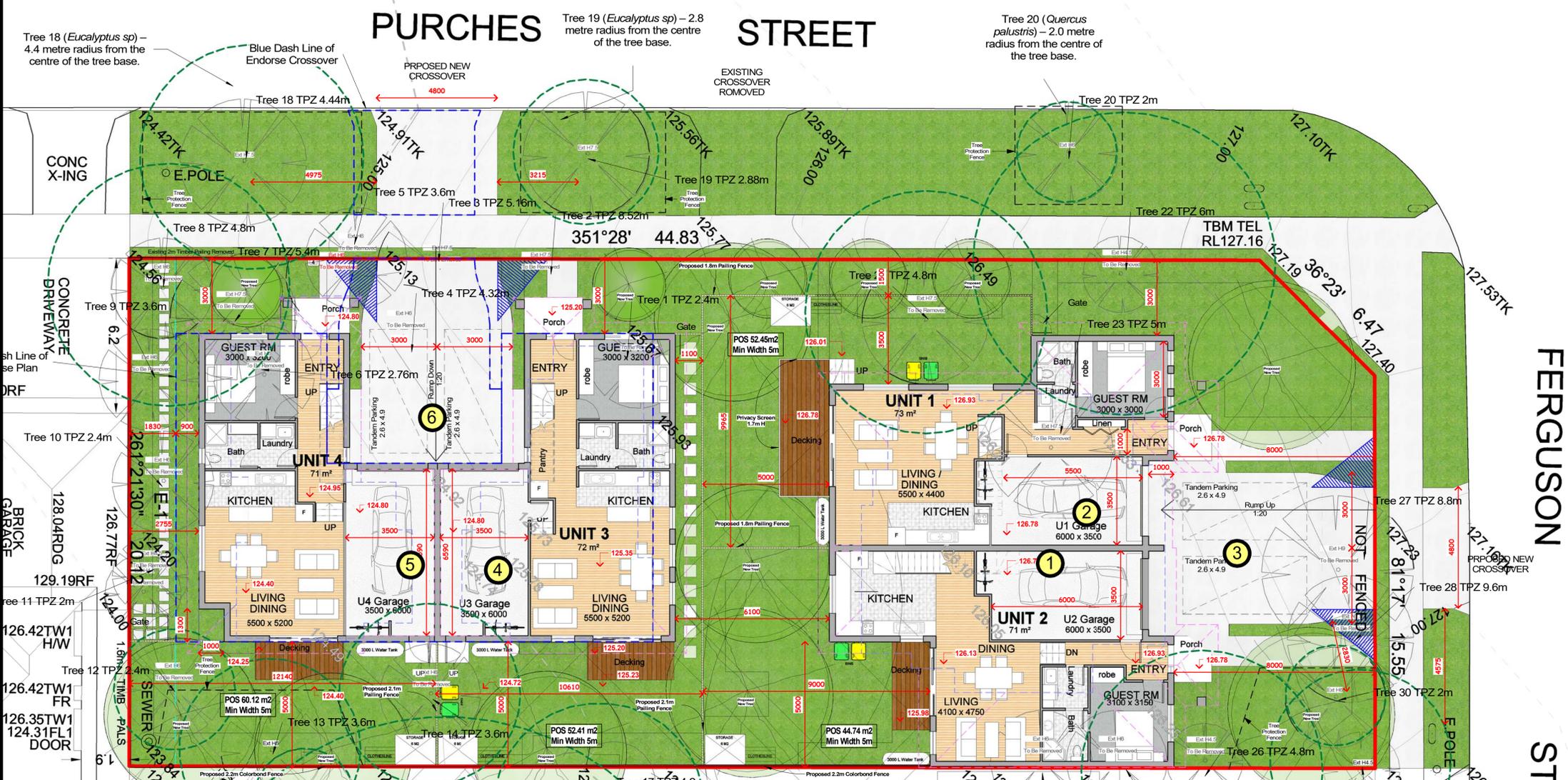
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B3 Title

55.03 Liveability
Standard B3-2 Parking location



- ① Single garage for Unit 1 & 2 are conveniently located on ground floor.
- ② Internal dimension of Unit 1 & 2 single garage is 6.0m x 3.5m.
- ③ One single garage and 1 additional tandem parking space have been provided to proposed Unit 1 & 2.
- ④ Single garage for Unit 3 & 4 are conveniently located on ground floor.
- ⑤ Internal dimension of Unit 3 & 4 single garage is 6.0m x 3.5m.
- ⑥ One single garage and 1 additional tandem parking space have been provided to proposed Unit 3 & 4.



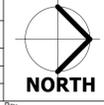
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PROJECT
 Proposed Two Unit Development
 TITLE
 Compliance B3-2 1
 28 Blackwood Drive, Hampton Park

Date	Issue Date
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Drawing Number	B3-2 1

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FERGUSON STREET

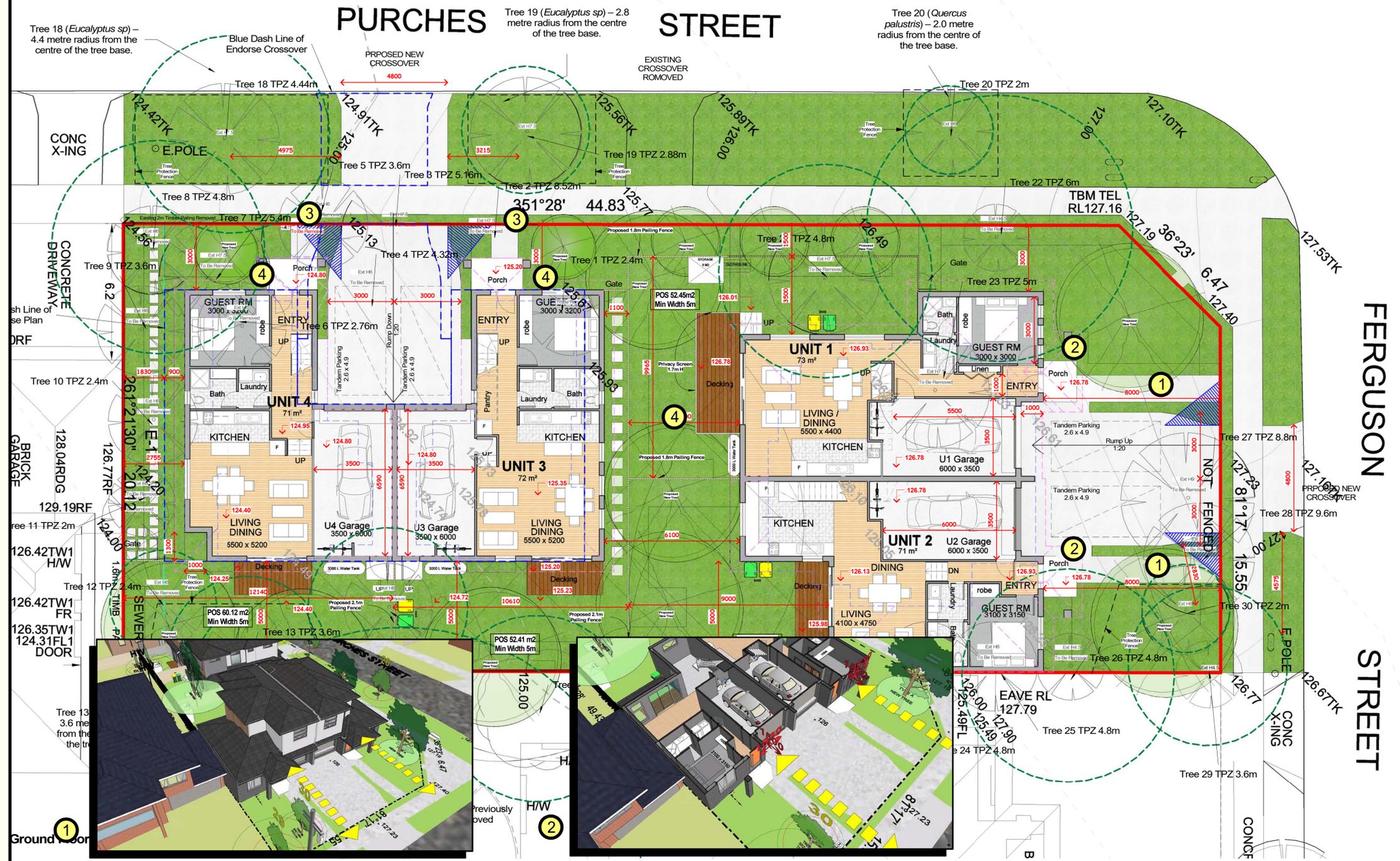


55.03 Liveability

Standard B3-4 Entry



- 1 Unit 1 & 2 ground level entry door have direct line of sight from Ferguson St.,
- 2 Unit 1 & 2 have ground level entry doors with an external covered area of at least 1.44 square metres and a minimum dimension of at least 1.2 metres.
- 3 Unit 3 & 4 ground level entry door have direct line of sight from Purches St.
- 4 Unit 3 & 4 have ground level entry doors with an external covered area of at least 1.44 square metres and a minimum dimension of at least 1.2 metres.



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PROJECT Proposed Two Unit Development
 TITLE Compliance B3-4 1
 28 Blackwood Drive, Hampton Park

Date	Issue Date
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Drawing Number	B3-4 1



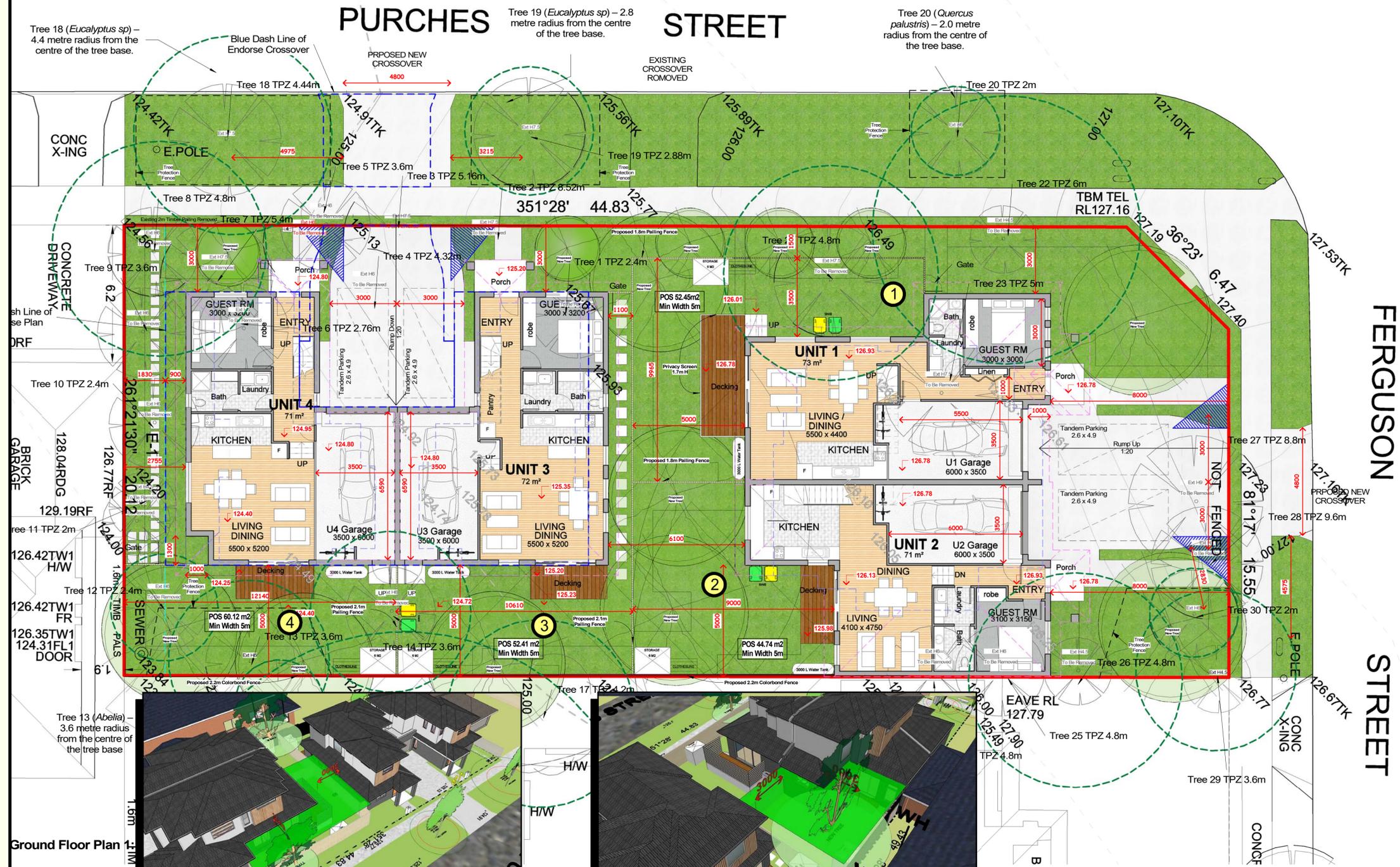
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55.03 Liveability

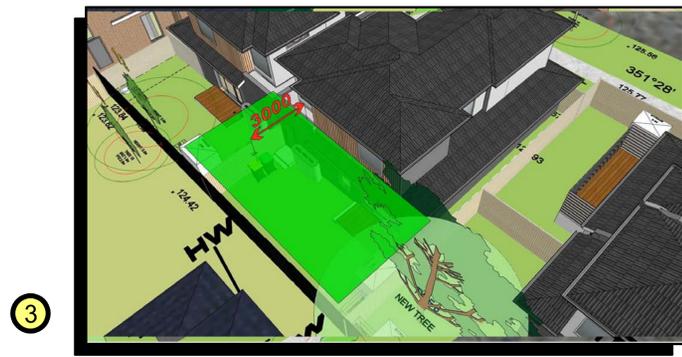
Standard B3-5 Private open space



- 1 The proposed Unit 1 will have 52.45 sqm of secluded private open space with minimum width of 3m.
- 2 The proposed Unit 2 will have 44.74 sqm of secluded private open space with minimum width of 3m.
- 3 The proposed Unit 3 will have 52.41 sqm of secluded private open space with minimum width of 3m.
- 4 The proposed Unit 4 will have 60.12 sqm of secluded private open space with minimum width of 3m.



Ground Floor Plan



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PROJECT
Proposed Two Unit Development

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28 Blackwood Drive, Hampton Park

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Drawing Number	B3-5 1

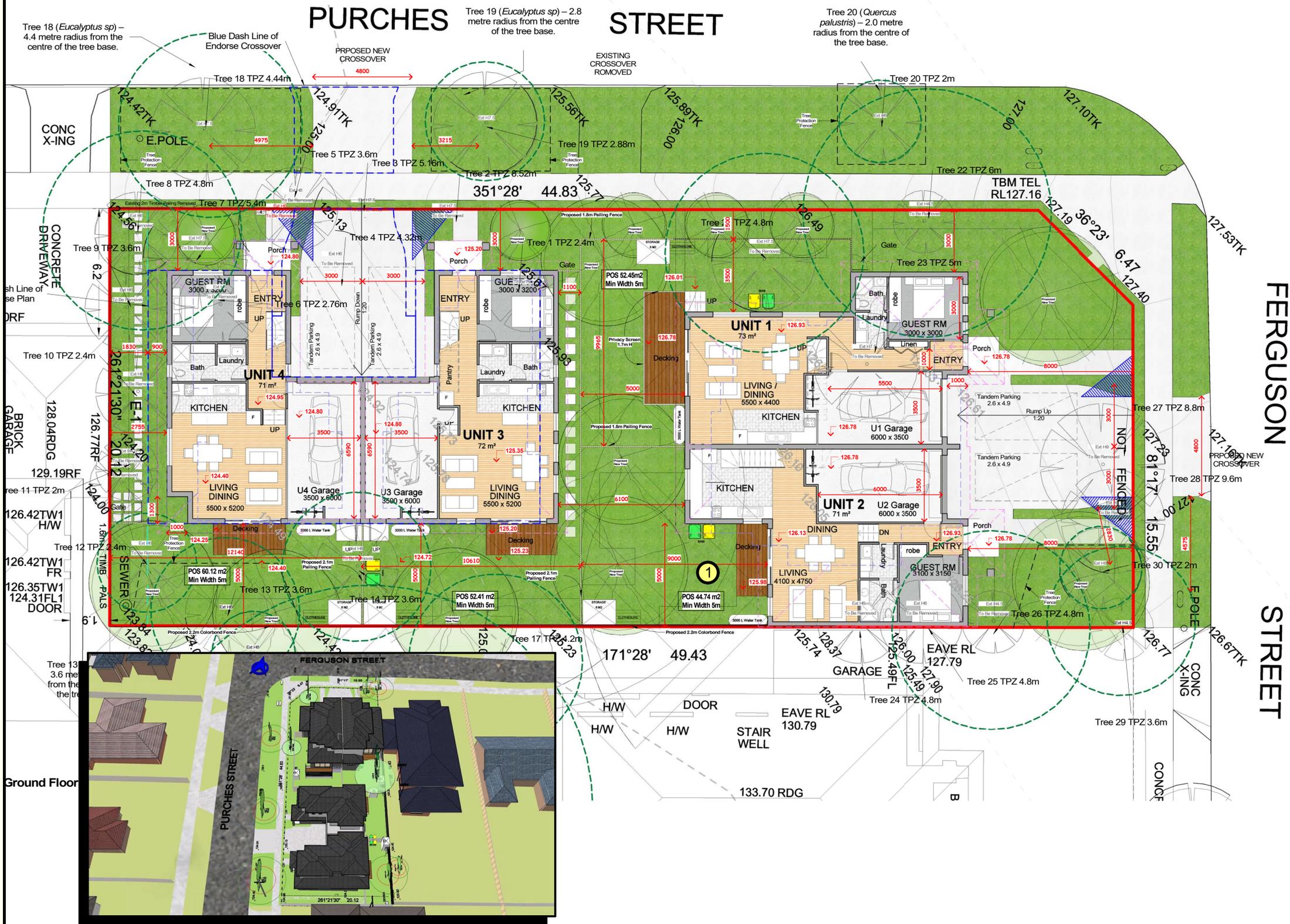


55.03 Liveability

Standard B3-6 Solar access to open space



1 There is more than enough distance between Unit 2 wall on northern boundary of POS and southern boundary of Unit 2 POS. There are no northern wall on any other proposed units POS.



1

REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B3-6 1
28 Blackwood Drive, Hampton Park

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Job Number 0001

Drawing Number



B3-6 1

55.03 Liveability

Standard B3-7 Functional layout



- 1 Proposed Unit 1 & 2 will have minimum living area of 12 sqm with minimum width of 3.6m.
- 2 Proposed Unit 1 & 2 will have main bedrooms with a minimum width of 3m and a minimum depth of 3.4m, other bedrooms with a minimum width of 3m and a minimum depth of 3m.
- 3 Proposed Unit 1 & 2 will have minimum living area of 12 sqm with minimum width of 3.6m.
- 4 Proposed Unit 1 & 2 will have main bedrooms with a minimum width of 3m and a minimum depth of 3.4m, other bedrooms with a minimum width of 3m and a minimum depth of 3m.



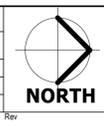
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PROJECT
Proposed Two Unit Development

TITLE
Compliance B3-7 1
28 Blackwood Drive, Hampton Park

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Drawing Number	B3-7 1



PURCHES STREET



FERGUSON STREET



②



④

REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B3-7 2
28 Blackwood Drive, Hampton Park

Date	Issue Date
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NORTH

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When an angle is given, it shall be to the vertical unless otherwise stated.
When an angle is given, it shall be to the horizontal unless otherwise stated.

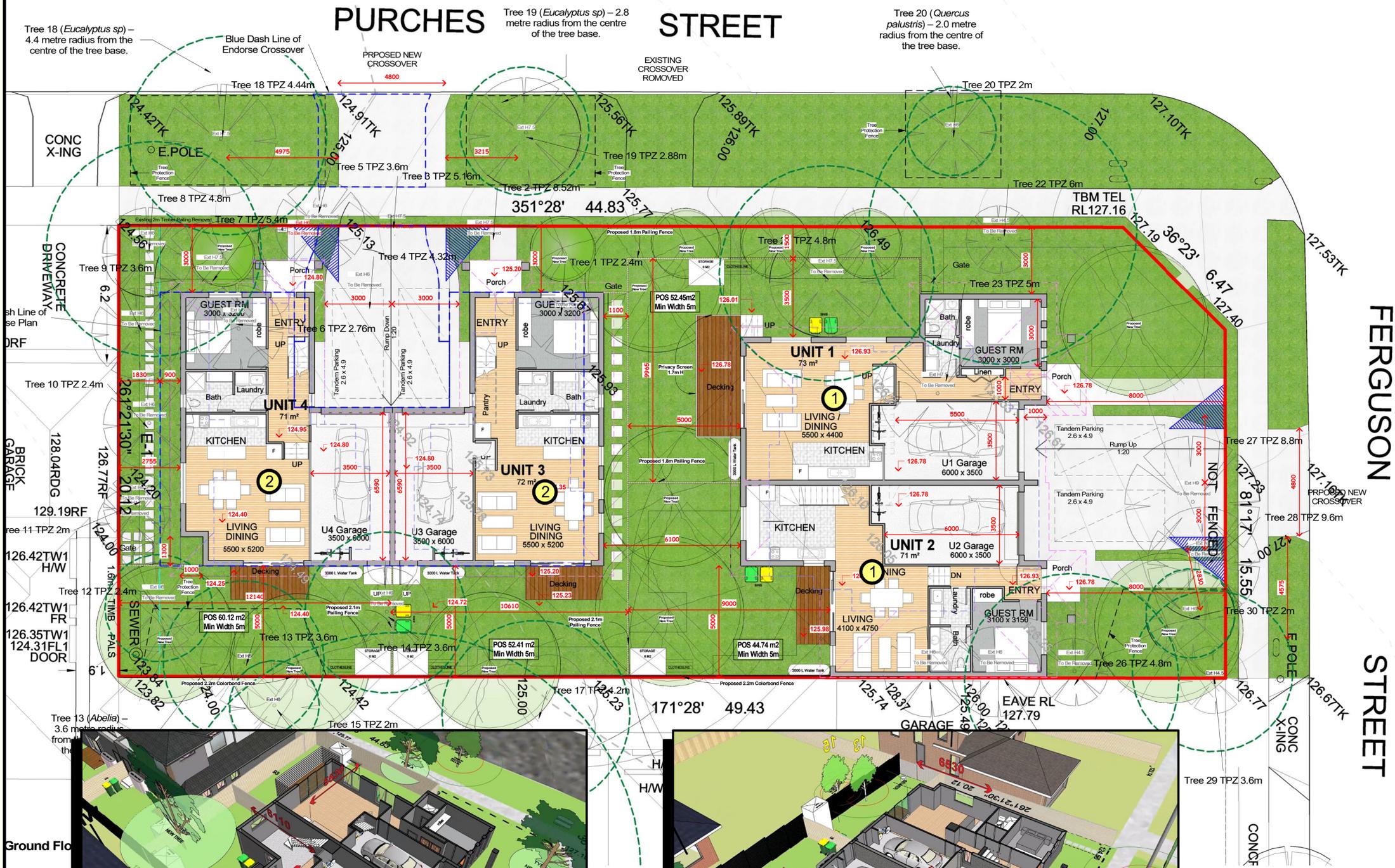
55.03 Liveability

Standard B3-8 Room depth



1 Proposed Unit 1 & 2 living area habitable room depth will be less than 2.5 times of ceiling height.

2 Proposed Unit 3 & 4 living area habitable room depth will be less than 2.5 times of ceiling height.



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PROJECT
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TITLE
Compliance B3-8 1
28 Blackwood Drive, Hampton Park

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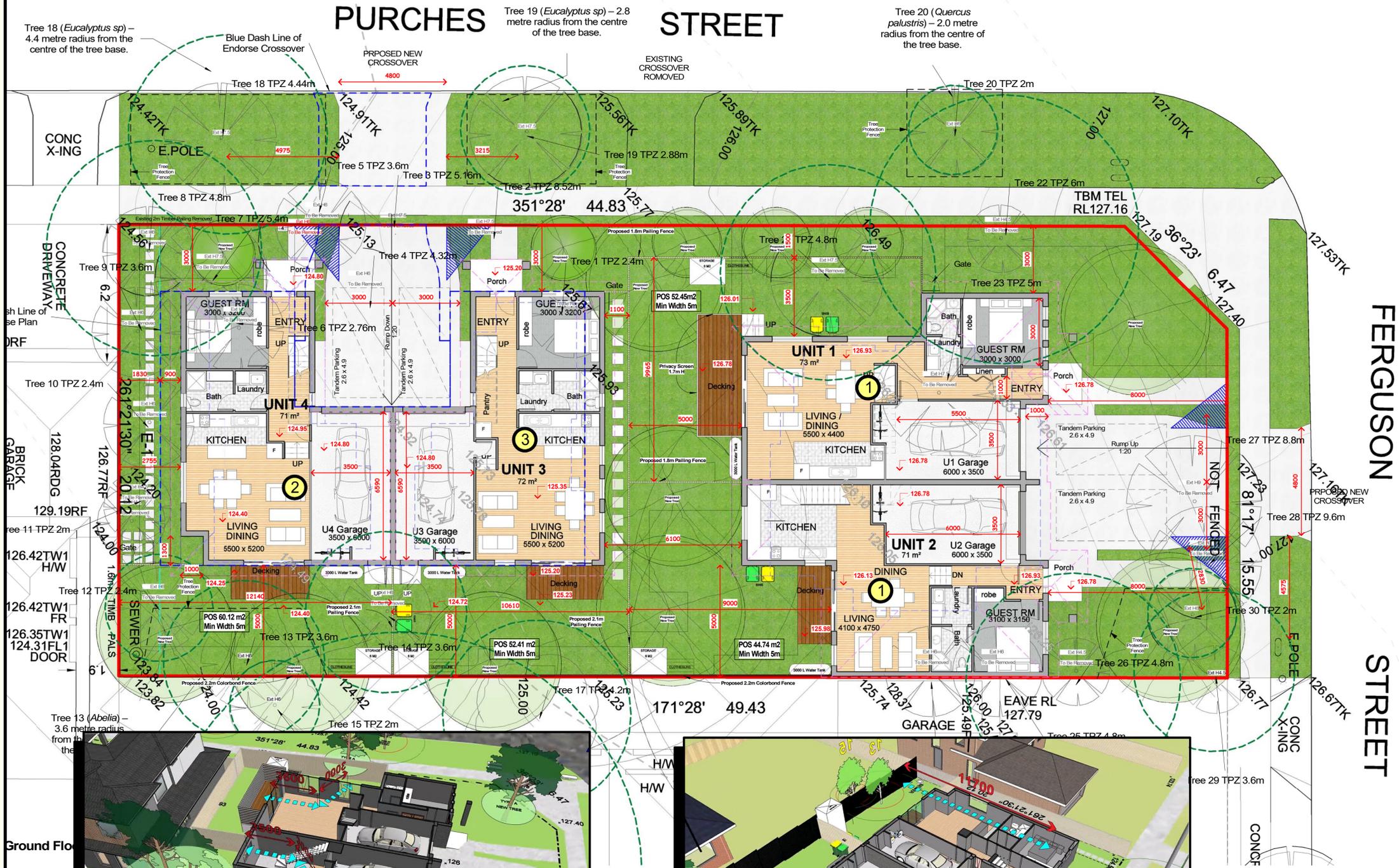
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55.03 Liveability

Standard B3-10 Natural ventilation



- 1 Proposed Unit 1 & 2 will have a breeze path of greater than 5m and less than 18m through the dwelling on the ground floor.
- 2 Proposed Unit 1 & 2 will have a breeze path of greater than 5m and less than 18m through the dwelling on the first floor.
- 3 Proposed Unit 3 & 4 will have a breeze path of greater than 5m and less than 18m through the dwelling on the ground floor.
- 4 Proposed Unit 3 & 4 will have a breeze path of greater than 5m and less than 18m through the dwelling on the first floor.



1

3

REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B3-10 1
28 Blackwood Drive, Hampton Park

Date	Issue Date
Scale (A1)	As indicated@ A1
Drawn by	Author
Checked	Checker
Job Number	0001
Drawing Number	B3-10 1

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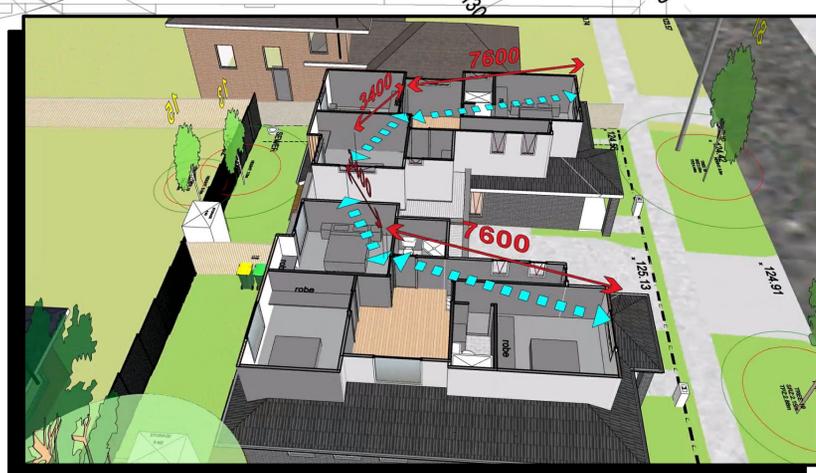
Readers/Constructors shall verify the dimensions before any construction.
General dimensions shall have precedence over detailed work.
When an error occurs in the drawing, the architect shall be responsible for the error.
The contractor shall be responsible for the accuracy of the dimensions shown on the drawing.
The contractor shall be responsible for the accuracy of the dimensions shown on the drawing.
The contractor shall be responsible for the accuracy of the dimensions shown on the drawing.

PURCHES

STREET



2



4

REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B3-10 2
28 Blackwood Drive, Hampton Park

Date	Issue Date
Scale (A1)	As indicated@ A1
Drawn by	Author
Checked	Checker
Job Number	0001
Drawing Number	B3-10 2

NORTH

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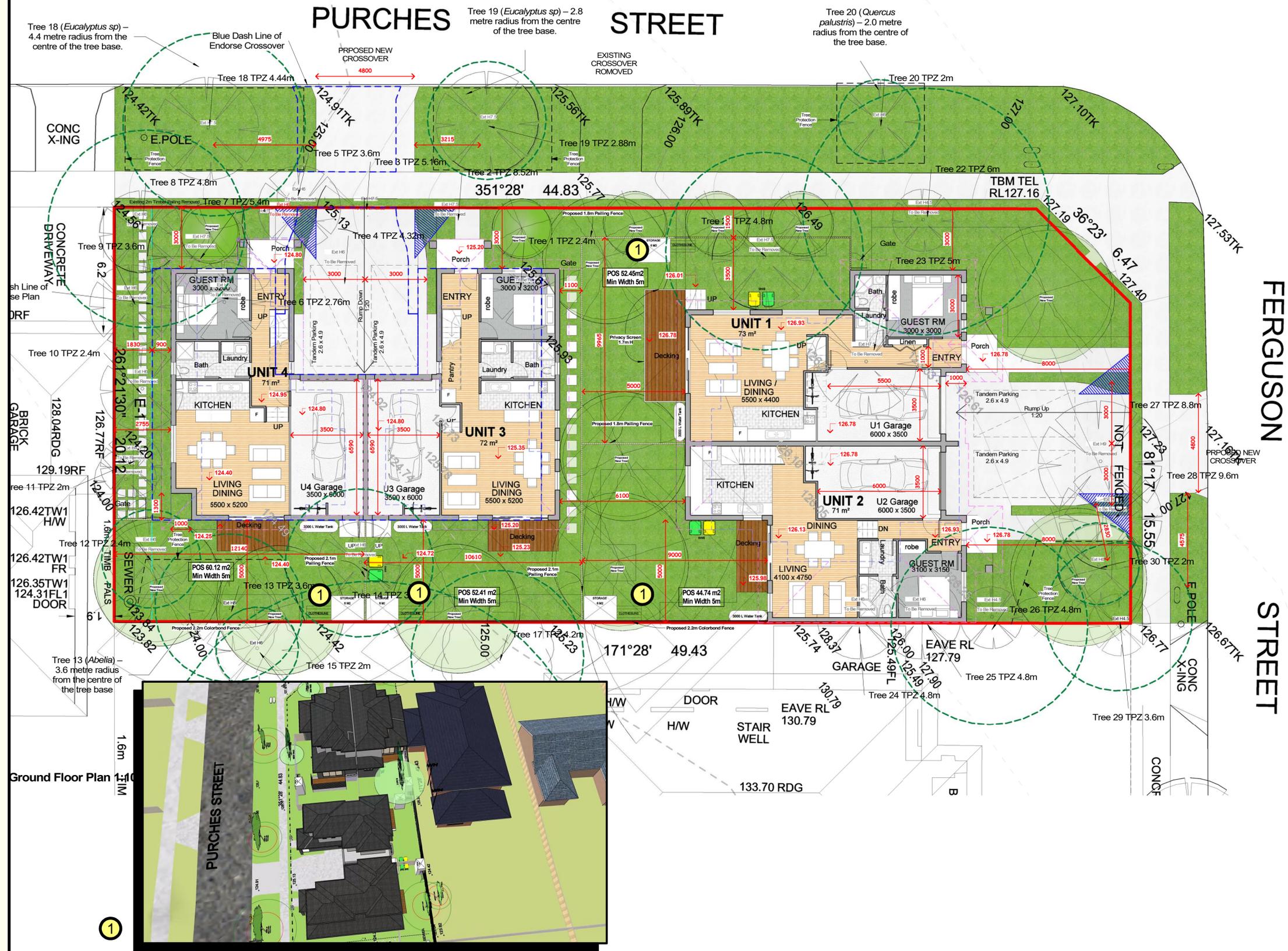
Readers/Constructors shall verify the dimensions before any construction.
General dimensions shall have precedence over detailed work.
When an error occurs in the plan, the quantity/size and the dimension shall be corrected prior to the start of any construction work unless the quantity/size and the dimension are corrected by the quantity/size and the dimension.

55.03 Liveability

Standard B3-11 Storage



1 Each dwelling has exclusive access to at least 6 cubic metres of externally accessible storage space.



Ground Floor Plan 1:100

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REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B3-11 1
28 Blackwood Drive, Hampton Park

Date	Issue Date
Scale (A1)	As indicated@ A1
Drawn by	Author
Checked	Checker
Job Number	0001
Drawing Number	B3-11 1



CLAUSE 55

Proposed Four Dwelling Development
at
2 Ferguson St, Mitcham

55.04 External Amenity



REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B4
28 Blackwood Drive, Hampton Park

Date	Issue Date
Scale (A1)	1 : 100@ A1
Drawn by	Author
Checked	Checker
Job Number	0001
Drawing Number	B4 Title



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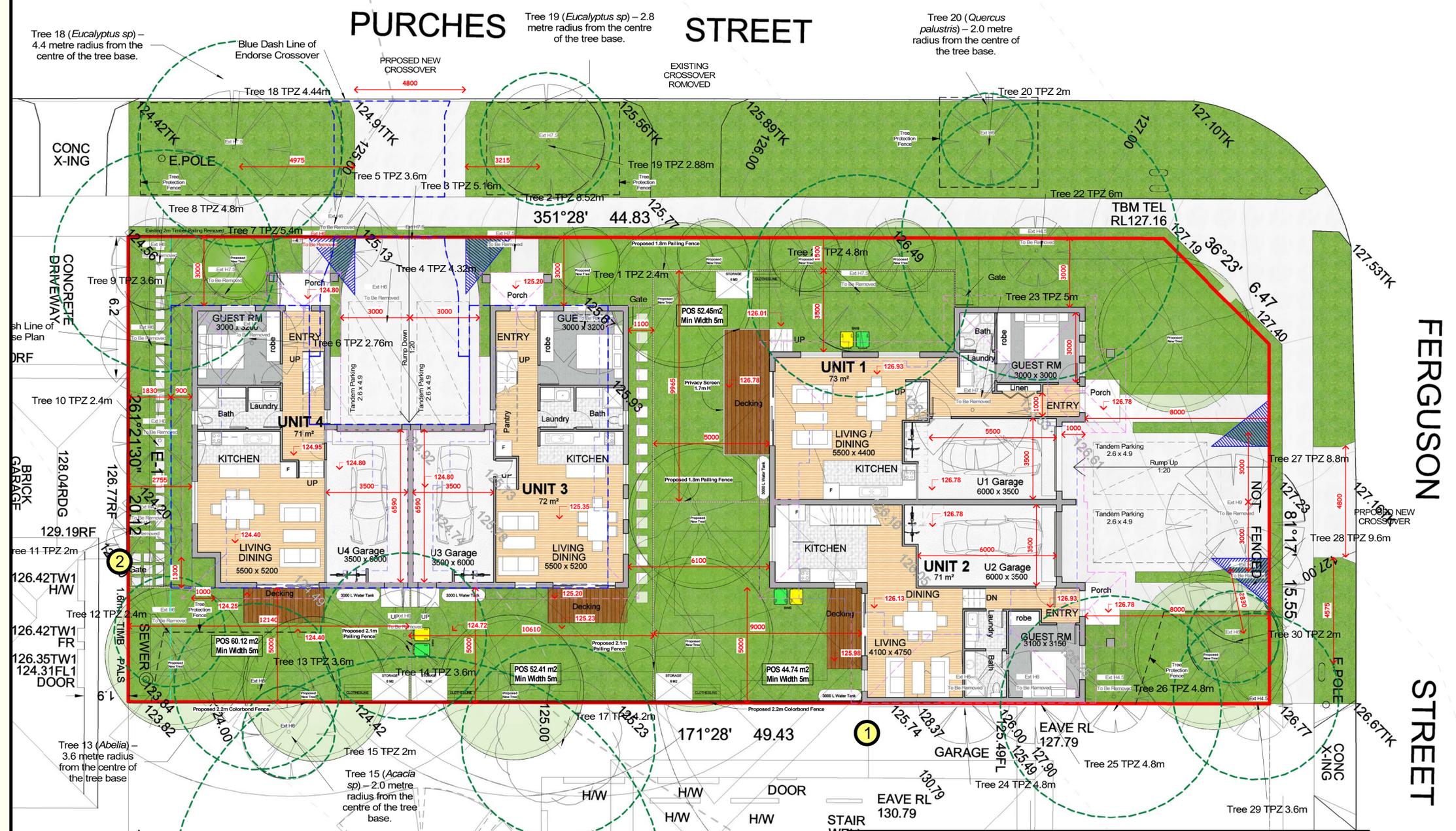
© Council/Contractors shall verify the dimensions before any site construction.
General dimensions shall have precedence over detailed work.
Work shall not commence until the final dimensions, clear drawings and all instructions
for work in progress have been issued to the contractor/contractor and construction
shall not commence until the issue of required work drawings issued by the
contractor/contractor.

55.04 External Amenity

Standard B4-1 Daylight to existing windows



- 1 Proposed Walls opposite existing habitable room windows of adcent property No. 4 are set back enough distance from the window.
- 2 Proposed Walls opposite existing habitable room windows of adcent property No. 23 are set back enough distance from the window.



REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B4-1 1
28 Blackwood Drive, Hampton Park

Date Issue Date

Scale (A1) As indicated@ A1

Drawn by Author

Checked Checker

Job Number 0001

Drawing Number B4-1 1



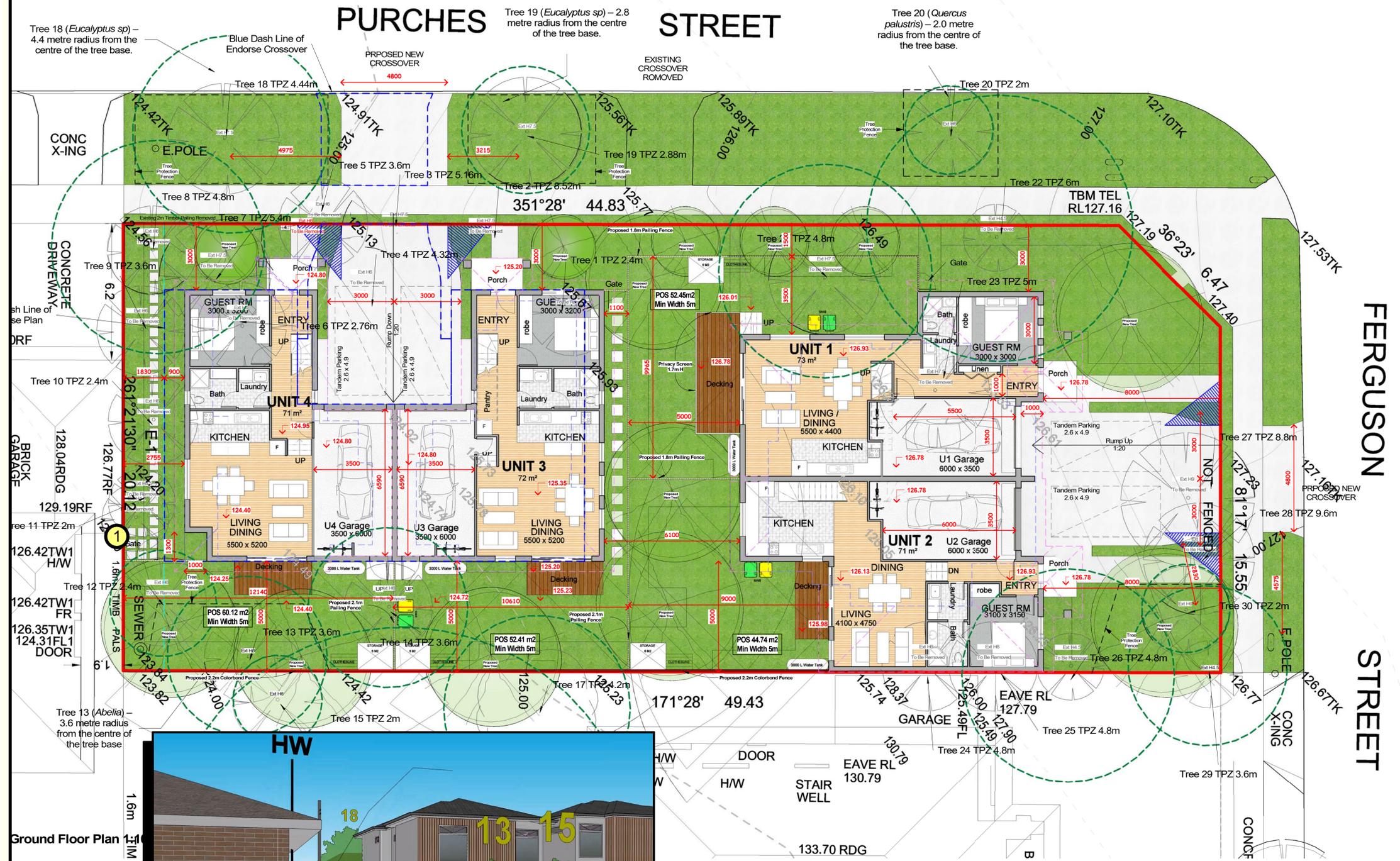
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55.04 External Amenity

Standard B4-2 Existing north-facing windows



1 There is north-facing habitable room window on adjacent property No.23 within 3m of subject site southern boundary. Proposed Unit 4 is setback from southern boundary at least 1 metre, plus 0.6m for every metre of height over 3.6m up to 6.9m, plus 1 metre for every metre of height over 6.9m.



REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B4-2 1
28 Blackwood Drive, Hampton Park

Date Issue Date

Scale (A1) As indicated@ A1

Drawn by Author

Checked Checker

Job Number 0001

Drawing Number B4-2 1

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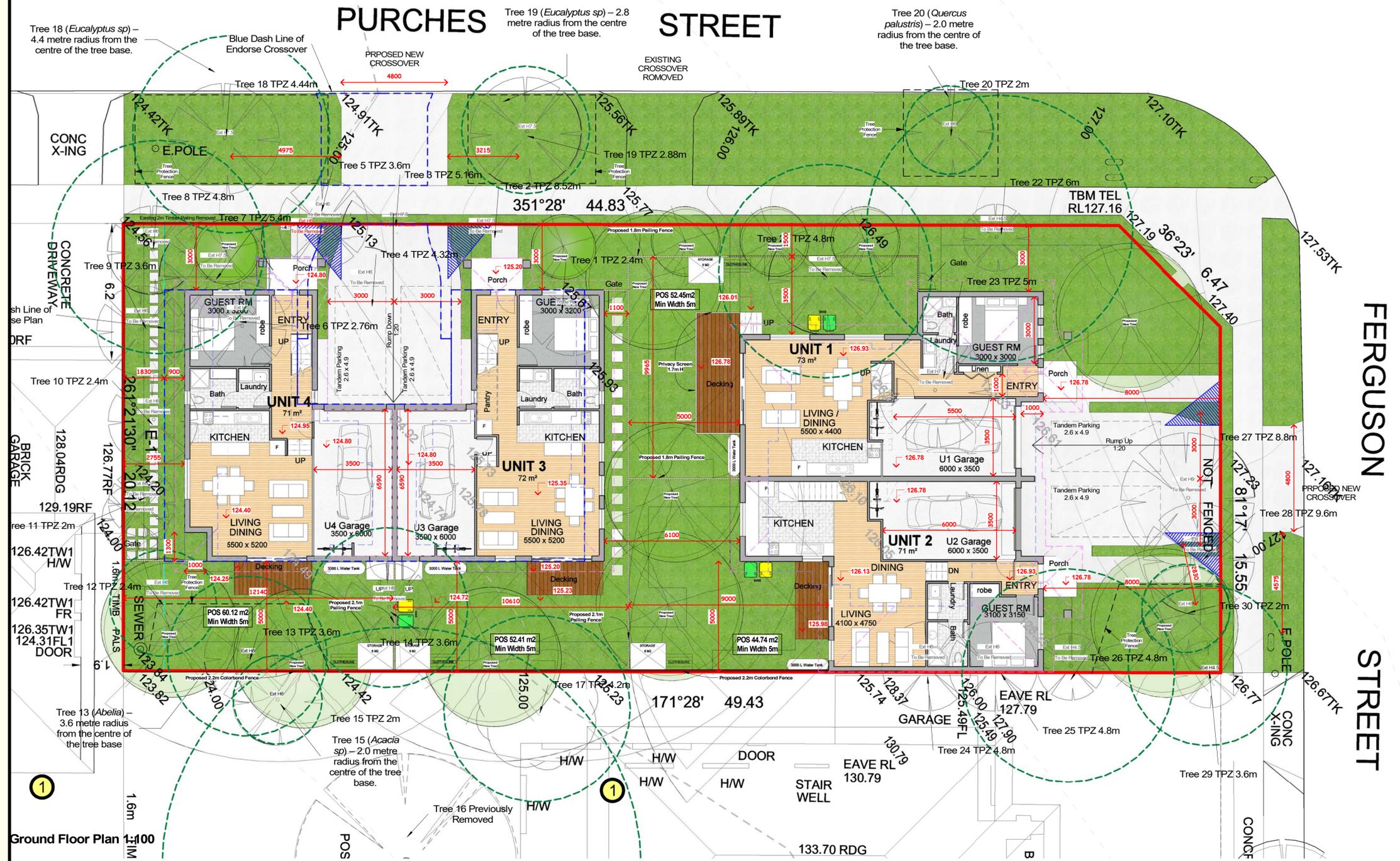
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55.04 External Amenity

Standard B4-3 Overshadowing secluded open space objective



1 The area of secluded private open space of adjoining property No. 4 and No. 23 that is not overshadowed by the new development are greater than 25sqm with a minimum dimension of 3m between 9 am and 3 pm on 22 September.



Ground Floor Plan 1:100



REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B4-3 1
28 Blackwood Drive, Hampton Park

Date	Issue Date
Scale (A1)	As indicated@ A1
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Job Number	0001
Drawing Number	B4-3 1



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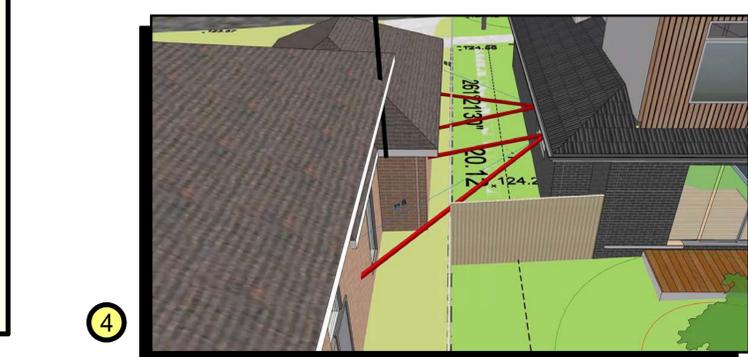
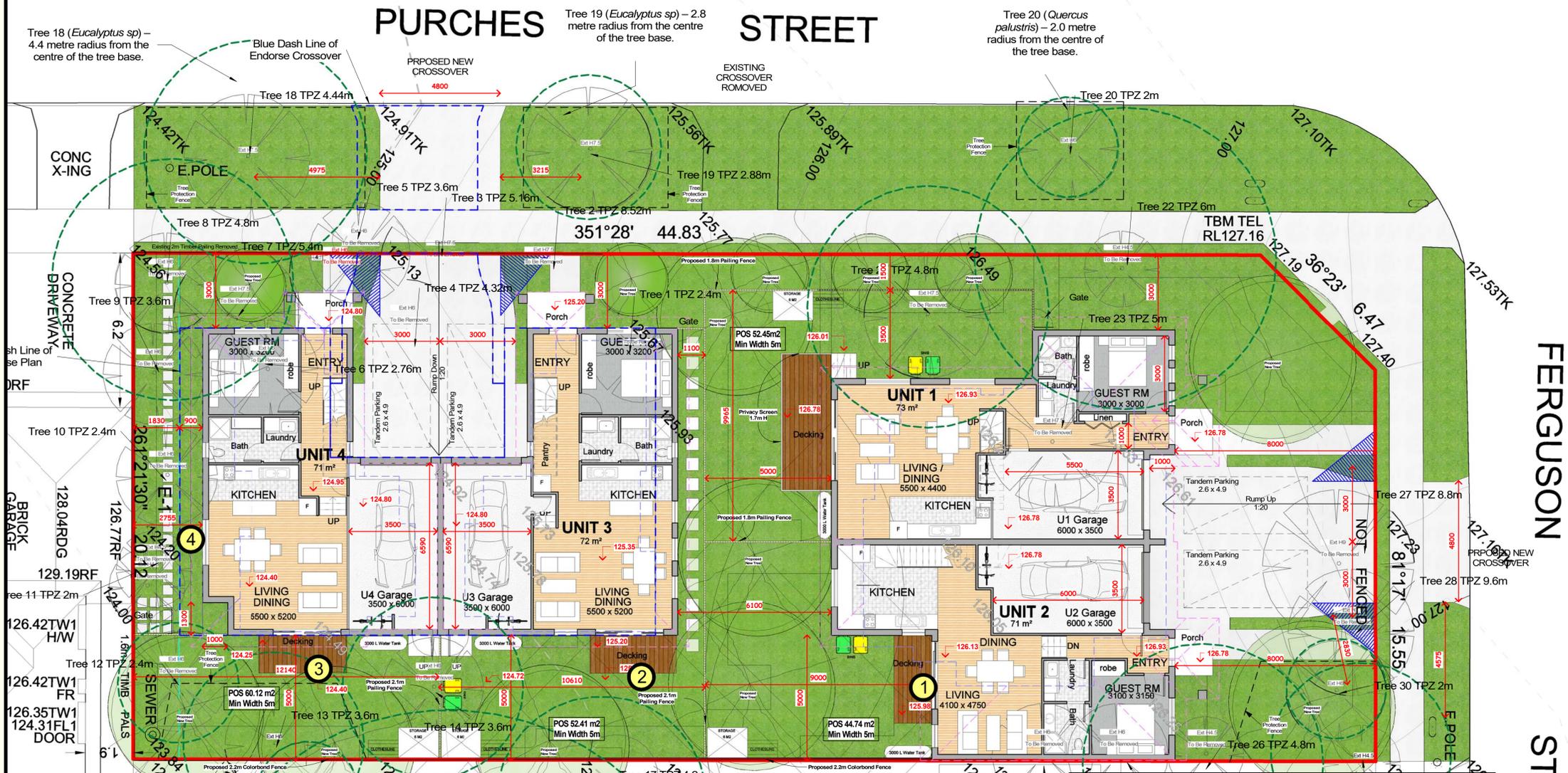
Design/Constructors shall verify the dimensions before any construction.
General dimensions shall have precedence over detailed work.
If an error is made in the design, the contractor shall be responsible for the error.
The contractor shall be responsible for the accuracy of the information supplied to the contractor.
The contractor shall be responsible for the accuracy of the information supplied to the contractor.

55.04 External Amenity

Standard B4-4 Overlooking



- 1 Proposed 2.2m high colorbond fence prevents overlooking from proposed Unit 2 ground floor living room southern sliding door into POS of adjacent property No. 4.
- 2 Proposed 2.2m high colorbond fence prevents overlooking from proposed Unit 3 ground floor living room eastern sliding door into POS of adjacent property No. 4.
- 3 Proposed 2.2m high colorbond fence prevents overlooking from proposed Unit 4 ground floor living room eastern sliding door into POS of adjacent property No. 4.
- 4 1.7m high obscured glazing prevents overlooking from proposed Unit 4 ground kitchen southern window into POS of adjacent property No. 23.
- 5 Proposed 0.6m lattice fence on top of existing 1.6m high paling fence prevents overlooking from proposed Unit 2 living room northern window into POS of adjacent property No. 26.



REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B4-4 1
28 Blackwood Drive, Hampton Park

Date	Issue Date
Scale (A1)	As indicated@ A1
Drawn by	Author
Checked	Checker
Job Number	0001
Drawing Number	B4-4 1

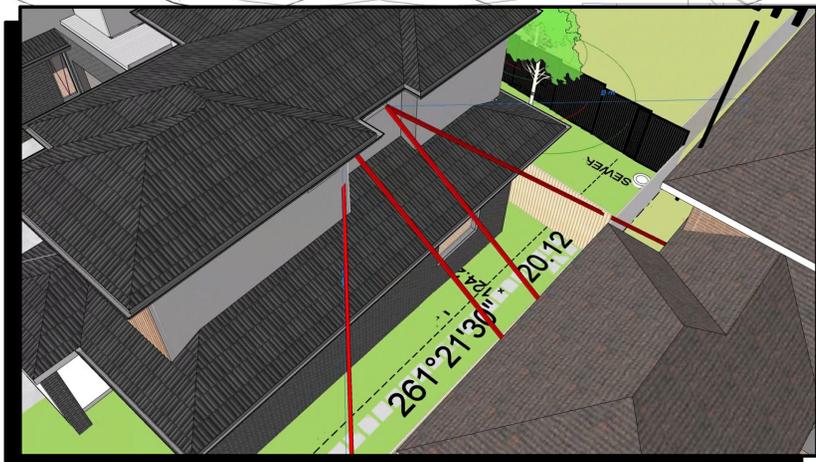


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Business/Construction sites with the dimensions before any site construction. General dimensions shall have a tolerance of +/- 10mm. All dimensions shall be taken to the outside of the building and any structures. All dimensions shall be taken to the outside of the building and any structures. All dimensions shall be taken to the outside of the building and any structures.

PURCHES STREET



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REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B4-4 2
28 Blackwood Drive, Hampton Park

Date	Issue Date
Scale (A1)	As indicated @ A1
Drawn by	Author
Checked	Checker
Job Number	0001
Drawing Number	B4-4 2



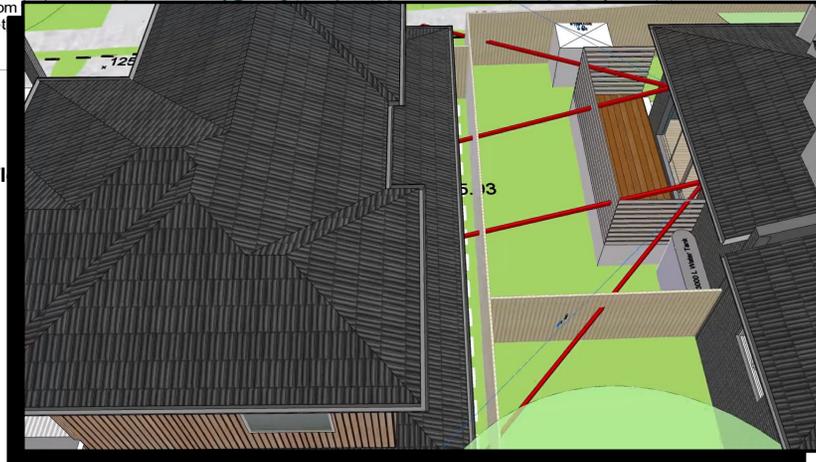
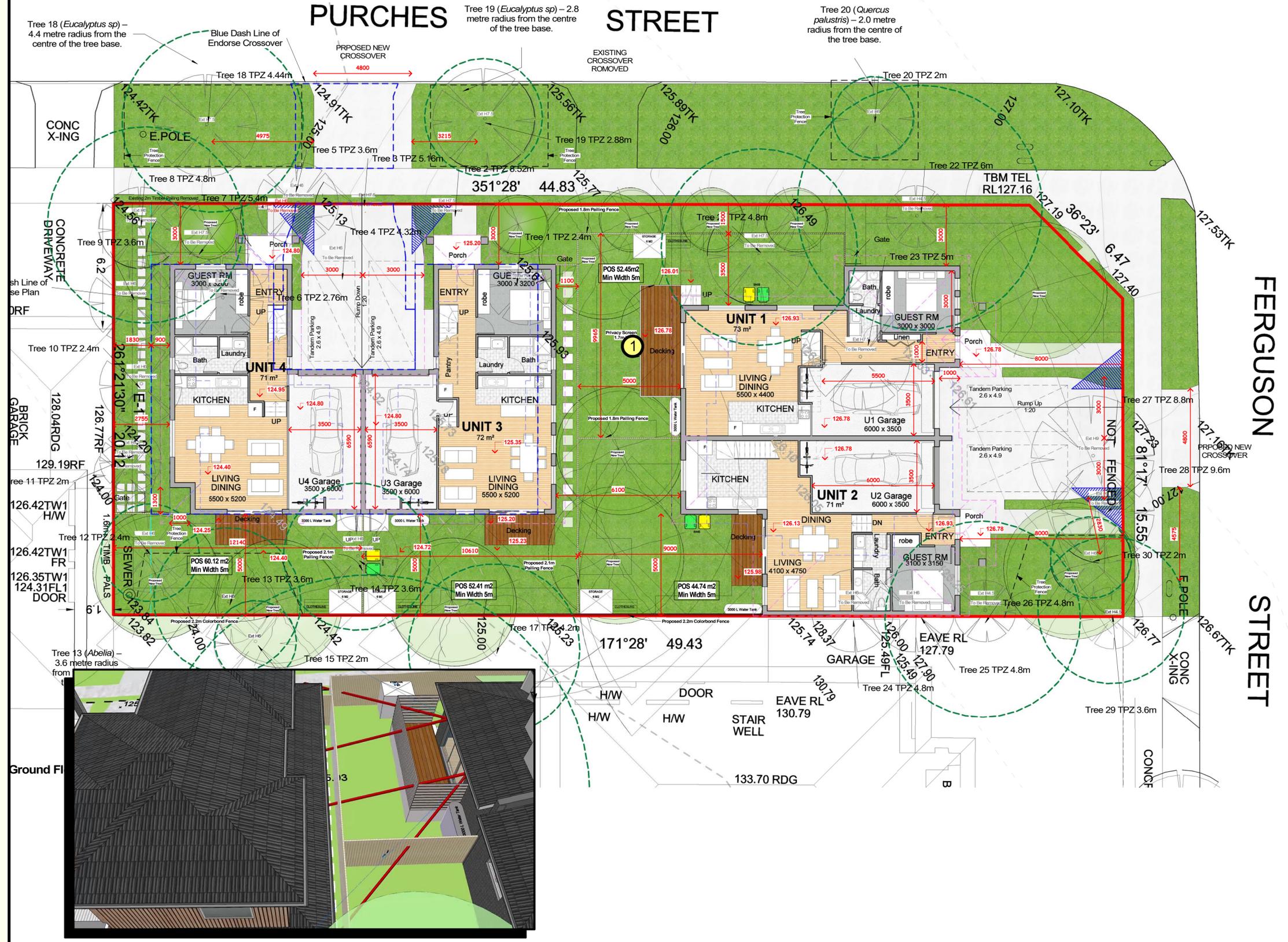
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55.04 External Amenity

Standard B4-5 Internal views



- 1 Fixed 1.7m high privacy screen prevents overlooking from proposed Unit 1 decking into proposed Unit 3 HW.
- 2 1.7m high obscured glazing prevents overlooking from proposed Unit 3 living room northern window into proposed Unit 1 POS.



1

REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B4-5 1
28 Blackwood Drive, Hampton Park

Date	Issue Date
Scale (A1)	As indicated@ A1
Drawn by	Author
Checked	Checker
Job Number	0001
Drawing Number	B4-5 1

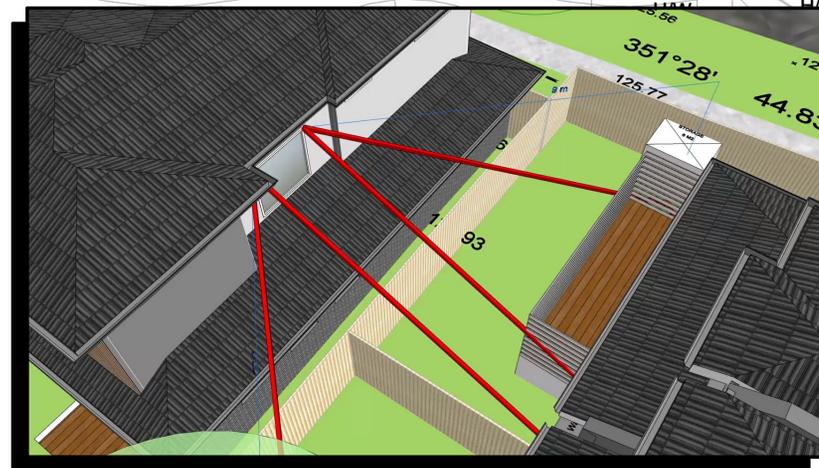
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Buildings/Constructors shall verify the dimensions before any construction.
General dimensions shall have precedence over detailed work.
Where a discrepancy exists between the dimensions and the drawings, the dimensions shall prevail.
The contractor shall be responsible for the accuracy of the dimensions and the drawings.
The contractor shall be responsible for the accuracy of the dimensions and the drawings.
The contractor shall be responsible for the accuracy of the dimensions and the drawings.



PURCHES STREET



2

REV	DATE	DESCRIPTION	INITIAL	REV	DATE	DESCRIPTION	INITIAL

PROJECT
Proposed Two Unit Development

TITLE
Compliance B4-5 2
28 Blackwood Drive, Hampton Park

Date	Issue Date
Scale (A1)	As indicated @ A1
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Job Number	0001
Drawing Number	B4-5 2



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General dimensions shall have a tolerance of +/- 10mm.
When an angle is given, it shall be to the horizontal unless otherwise stated.
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